



VILLAGE OF KIMBERLY, WI
PLAN COMMISSION MEETING

DATE: Tuesday, January 16, 2024
TIME: 6:00pm
LOCATION: Village Hall, Rick J. Hermus Council Chambers
515 W. Kimberly Ave.
Kimberly, WI 54136

Notice is hereby given that a Plan Commission meeting will be held on Tuesday, January 16, 2024, at the Village Hall. The agenda is listed below.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) Approval of Minutes from the 12/19/2023 Meeting
- 5) New Business for Consideration and Approval
 - a) Blue at the Trails Town Homes Site Plan
 - b) Bobs Heating and Cooling Site Review
 - c) Village of Kimberly Street/Parks Facility Site Review
- 6) Adjournment

Plan Commission 01-16-24

Jan 16, 2024, 6:00 – 7:30 PM (America/Chicago)

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/774347285>

You can also dial in using your phone.

Access Code:

774-347-285

United States (Toll Free):

[1 877 309 2073](tel:18773092073)

United States:

[+1 \(646\) 749-3129](tel:+16467493129)

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<https://meet.goto.com/install> Jan 16, 2024, 6:00 – 7:30 PM (America/Chicago)

**Village of Kimberly
Plan Commission
Minutes
December 19, 2023**

President Kuen called the meeting to order at 6:00 p.m. Appearing in person were President Kuen, Commissioner Schiesl, Commissioner Freund, Commissioner Karner, Commissioner Schneider and Commissioner Vander Velden, Commissioner Block was absent and excused. Also in attendance were Director of Public Works/Zoning Administrator Ulman, Administrator/Community Development Director Mahoney and Community Enrichment Director Femal.

Approval of Minutes from the 10-03-2023 Meeting

Commissioner Karner moved, Commissioner Vander Velden seconded the motion to approve the minutes from the 10-03-2023 Plan Commission Meeting. The motion carried by unanimous vote.

New Business for Consideration and Approval

2024-2029 Comprehensive Outdoor Recreation Plan

Commissioner Vander Velden moved, Commissioner Schneider seconded the motion to approve the 2024-2029 Comprehensive Outdoor Recreation Plan. A short discussion was conducted by the plan commissioners regarding the plan. It was mentioned that this plan is just a tool and guideline for the Village to follow for outdoor plans for the upcoming seasons, but nothing is set in stone and no budgetary items included in the plan document necessarily identifies a funding source. The motion carried by unanimous vote.

Adjournment

Commissioner Karner moved, Commissioner Schiesl seconded the motion to adjourn. The motion carried by unanimous vote at 6:09 p.m.

Erica Ziegert
Deputy Clerk



**Village of Kimberly
Request for
Planning Commission Recommendation**

ITEM DESCRIPTION: Site plan for Town Homes and Wilson St. homes in the Blue Development

REPORT PREPARED BY: Greg Ulman

REPORT DATE: January 16th, 2024

EXPLANATION:

In the Planned Unit Development at The Blue Development, the developer has put together unique and visually appealing plans for the town homes as well as the 2-story single family homes. The 2-story homes will be placed along N. Wilson St. as well as 3 other locations inside the development, there will be two unique plans. The rest of the structures, minus the condo complexes, will be a mix of the town homes from 3 different plans. The attached map shows where each design will be placed.

Town Homes: 3 unique unit plans

- 3 floors each unit
- Slab on grade with 1st floor mechanical rooms
- Each unit floor plan designed to accommodate optional residential elevator
- 2, 3 & 4 unit town home buildings planned
- The individual unit plans can be arranged / combined like Legos taking advantage of each units' features for best utilization of each building site and number of units in each building
- Unique design features include:

Exterior

- Over garage roof-line to draw the eyes to 2nd & 3rd floors upon approach, visually lessening the 3-story height, and provide cover to entries
- Dutch roof line of each end of building (an inset gable) to further 'lighten' the visual height of the town home
- Extensive rear living amenities including 1st floor veranda set within a private fenced courtyard, 2nd floor covered terrace, and 3rd floor primary bedroom balcony of 'end' units

Interior

- 1st floor bonus space, half bath & mechanical room
- 2nd floor full open concept, 2 unit plans with coffee bar or coffee café
- 3rd floor bedrooms and location of laundry room
- All floors connected by 4' foot wide stairways & optional residential elevator

- the "Camden" 2,243' sq ft finished living area 'Center' unit only
- the "Hawthorne" 2,342' sq ft finished living area 'End' unit only
- the "Belmont" 2,562' sq ft finished living area 'Center' or 'End' unit

Wilson St. 2-Story Homes: 2 unique plans

- 2 floors each plan
- Slab on grade with 1st floor mechanical rooms
- Each of the 2 plans are designed to be mirror-imaged to follow McMahan site plan to accommodate utility / pole obstructions
- 1 home plan features a front primary bedroom, the other a back primary bedroom
- Each plan provides a large 2nd floor storage area, or optional 4th bedroom
- Unique features include:

Exterior

- Wrap-around 1st floor front roof-line providing extensive cover over 2nd stall, porch and to provide visual synergy with town homes
- Scandinavian design of low roof pitch and extended soffit overhang also blending with town homes
- Rear patio within a fenced in courtyard with gate to common-area Park

Interior

- Casual lifestyle 1st floor plan with open Kitchen / Living Room providing oversized, solid surface center island
 - Separate 'study' area front room
 - 2nd floor laundry room placed close to bedrooms
 - Conditioned storage area and optional 4th bedroom
 - Residential elevator
- the "Haven" 2,078' sq ft living area + 319' conditioned storage
 - the "Woodrow" 2,219' sq ft living area + 204' conditioned storage

* In addition to Wilson Street, buildings # 11b, 13b, & 22b

AESTHETIC:

- Both the town homes and single-family homes blend architectural lines and visual aspects of the large condo buildings including; blending faux wood appearance to the exterior front doors, soffits, and garage doors. Similar hues of color.

HEIGHT:

- The town homes feature a front inset gable to draw from the height of the condo buildings while the Wilson St. 2-story homes provide a low-pitch roof providing an overall

appeasing “massing scale” upon entering Blue at the Trail by offering a measured progression in overall height leading to the large condo buildings.

RECOMMENDED ACTION: Approve the site plans for the town home & Wilson St. home plans as presented.

Town home & Wilson Street home plans

Town homes: 3 unique unit plans

- o 3 floors each unit
- o Slab on grade with 1st floor mechanical rooms
- o Each unit floor plan designed to accommodate optional residential elevator
- o 2, 3 & 4 unit town home buildings planned
- o The individual unit plans can be arranged / combined like legos taking advantage of each units' features for best utilization of each building site and number of units in each building
- o Unique design features include:

Exterior

- Over garage roof-line to draw the eyes to 2nd & 3rd floors upon approach, visually lessening the 3-story height, and provide cover to entries
- Dutch roof line of each end of building (an inset gable) to further 'lighten' the visual height of the town home
- Extensive rear living amenities including 1st floor veranda set within a private fenced courtyard, 2nd floor covered terrace, and 3rd floor primary bedroom balcony of 'end' units

Interior

- 1st floor bonus space, half bath & mechanical room
- 2nd floor full open concept, 2 unit plans with coffee bar or coffee cafe
- 3rd floor bedrooms and location of laundry room
- All floors connected by 4' foot wide stairways & optional residential elevator

- the "Camden" 2,243' sq ft finished living area 'Center' unit only
- the "Hawthorne" 2,342' sq ft finished living area 'End' unit only
- the "Belmont" 2,562' sq ft finished living area 'Center' or 'End' unit

Wilson Street 2-story homes: 2 unique plans

- o 2 floors each plan
- o Slab on grade with 1st floor mechanical rooms
- o Each of the 2 plans are designed to be mirror-imaged to follow McMahon site plan to accommodate utility / pole obstructions
- o 1 home plan features a front primary bdrm, the other a back primary bdrm
- o Each plan provides a large 2nd floor storage area, or optional 4th bedroom
- o Unique features include:

Exterior

- Wrap-around 1st floor front roof-line providing extensive cover over 2nd stall, porch and to provide visual synergy with town homes
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- Conditioned storage area and optional 4th bedroom residential elevator

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HEIGHT:

The town homes feature a front inset gable to draw from the height of the condo buildings while the Wilson street 2-story homes provide a low-pitch roof providing an overall appealing 'massing scale' upon entering Blue at the Trail by offering a measured progression in overall height leading to the large condo buildings.













1st Floor: 507' sf Garage + 467' living space = 974' sf

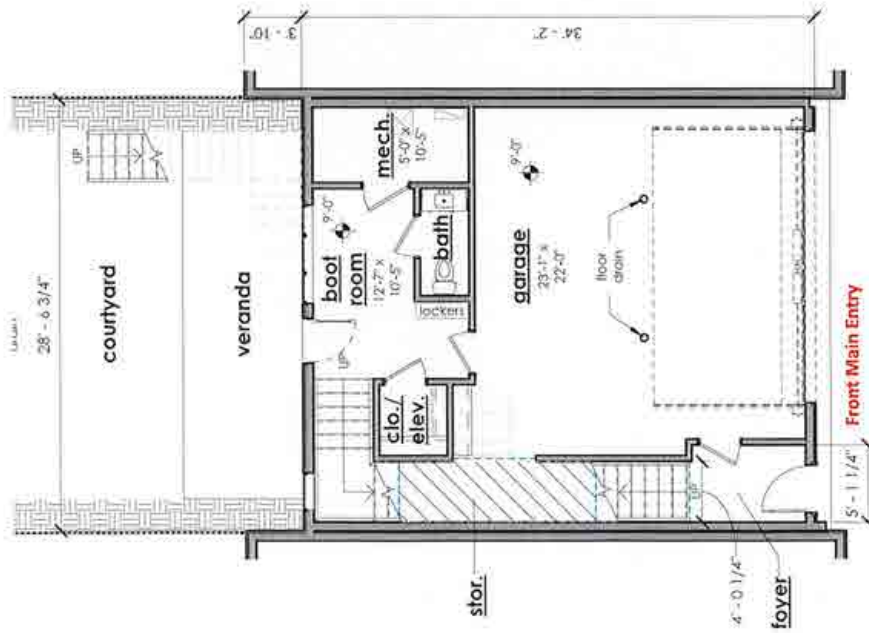
2nd Floor: 856' sf

3rd Floor: 920' sf

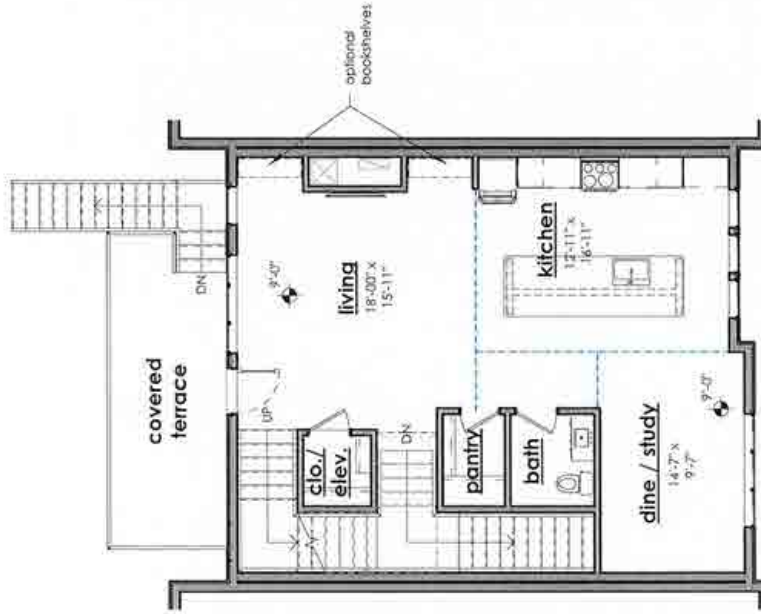
The "Camden"

(CENTER - unit only)

main living area: 1,776'
 2nd floor - 856'
 3rd floor - 920'
TOTAL LIVING SPACE 2,243'
 inc 1st fl. - 467'
Total Unit w/garage 2,710'
 inc garage 507'



1 first floor plan
 SCALE 1/8" = 1'-0"



2 second floor plan
 SCALE 1/8" = 1'-0"



3 third floor plan
 SCALE 1/8" = 1'-0"



option #1 - center unit only

project # 23467
 10/04/23

pr-001

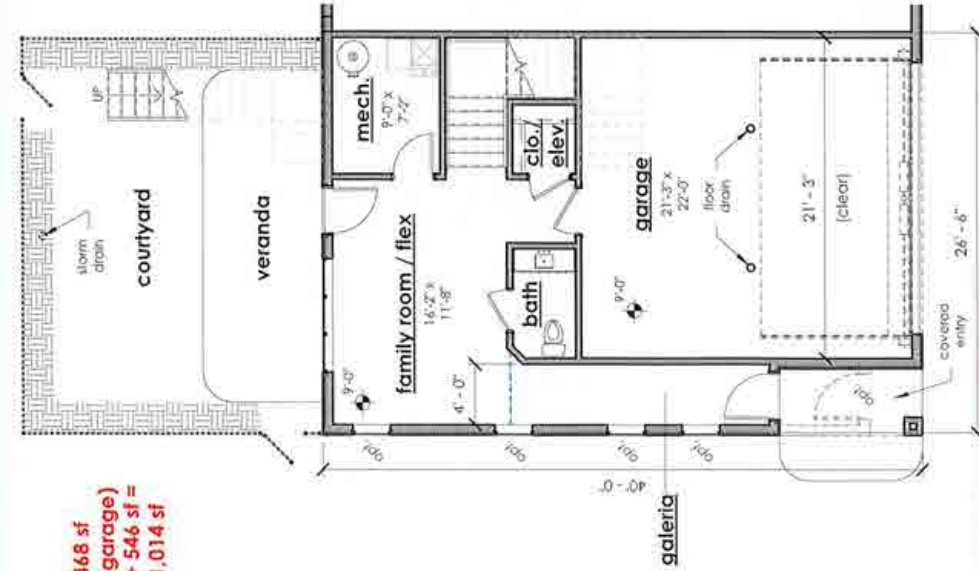
The "Belmont" [END or CENTER - unit]

main living area:
 2nd floor - 994'
 3rd floor - 1004'
TOTAL LIVING SPACE
 inc 1st fl. - 564'

3rd Floor: 1004' sf

2nd Floor: 994' sf

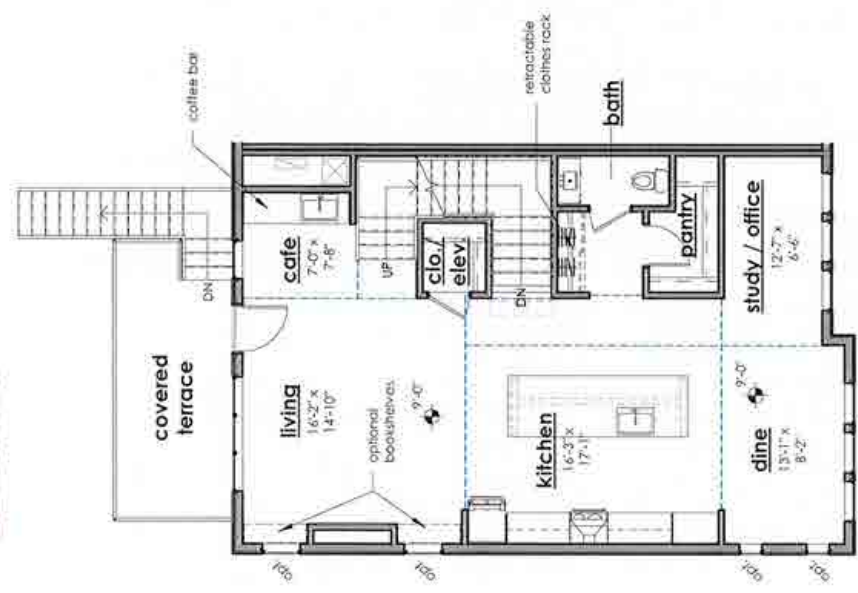
1st floor plan
 SCALE 1/8" = 1'-0"



468 sf
 (garage)
 + 546 sf =
 1,014 sf

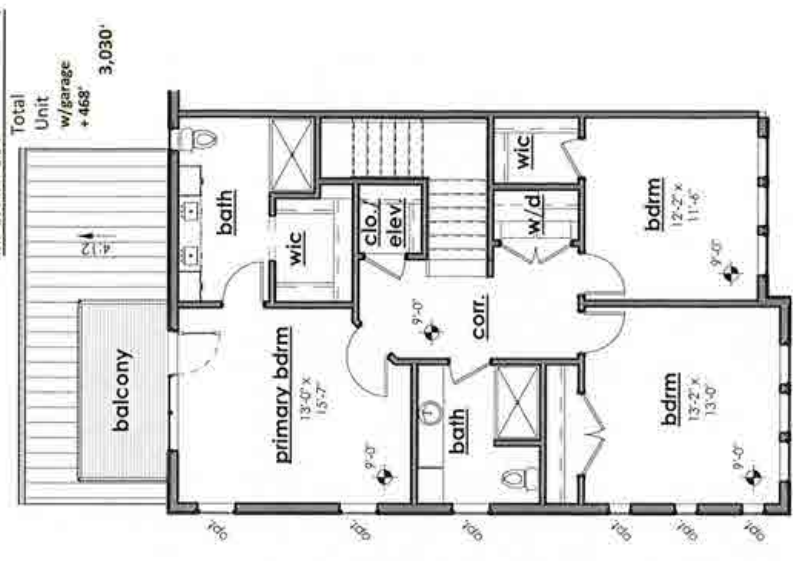
Covered Recessed Front Main Entry

1 first floor plan
 SCALE 1/8" = 1'-0"



2 second floor plan
 SCALE 1/8" = 1'-0"

3rd Floor: 1004' sf



3 third floor plan
 SCALE 1/8" = 1'-0"

option #2 - end or center unit



project # 23467
 10/04/23

pr-002

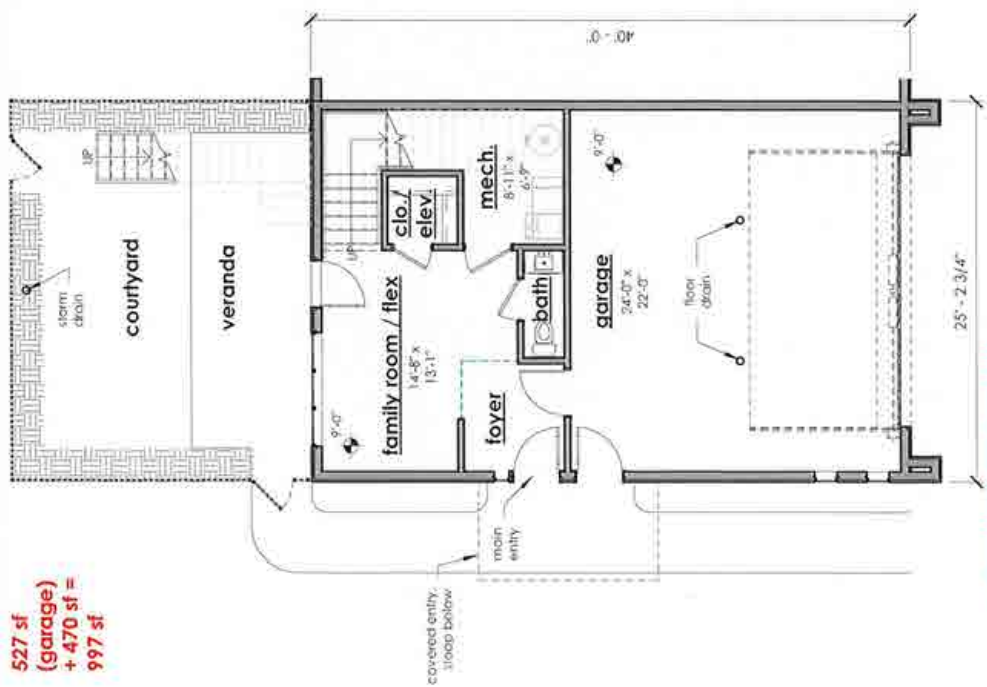
The "Hawthorne"

(END - unit only)
 main living area:
 2nd floor - 936'
 3rd floor - 936'
TOTAL LIVING SPACE
 inc 1st fl. - 470'
 Total w/garage 527' 2,869'

3rd Floor: 936' sf

2nd Floor: 936' sf

527 sf
 (garage)
 + 470 sf =
 997 sf



1 first floor plan
 SCALE: 1/8" = 1'-0"

Side Covered Front Main Entry



2 second floor plan
 SCALE: 1/8" = 1'-0"



3 third floor plan
 SCALE: 1/8" = 1'-0"

option #3 - end unit only



project # 23467
 10/04/23

pr-003

1000 EAST WISCONSIN AVENUE
 MILWAUKEE, WI 53212
 (414) 224-1100
 WWW.WISCONSINBS.COM

IMPORTANT NOTE:
 THIS SET OF PLANS IS A CONCEPTUAL DESIGN AND NOT A CONTRACT DOCUMENT. IT IS NOT TO BE USED FOR PERMITS, CONTRACTS, OR CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

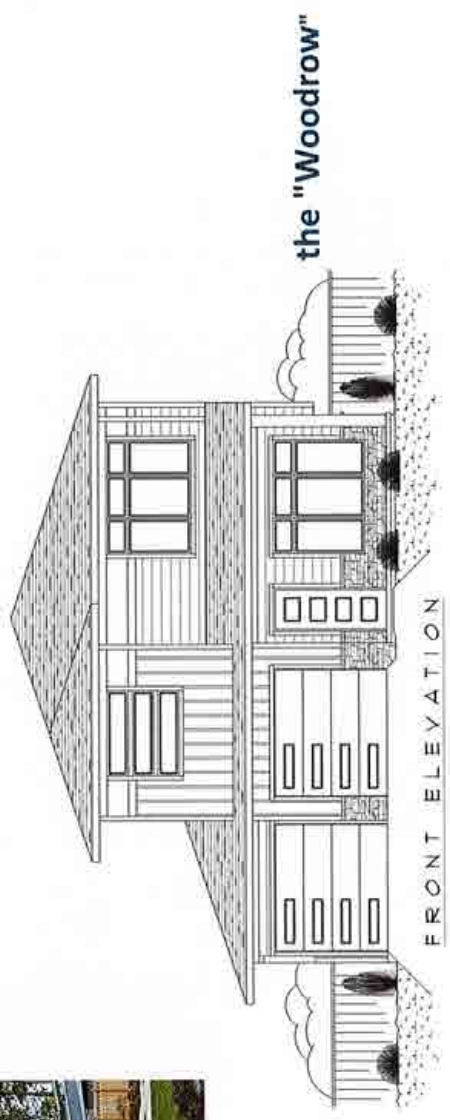
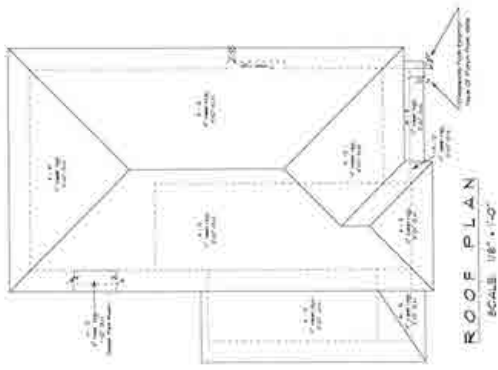
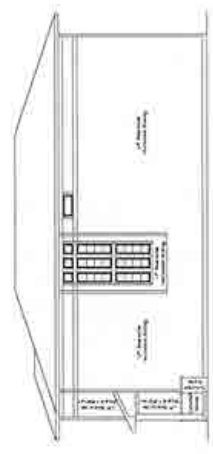
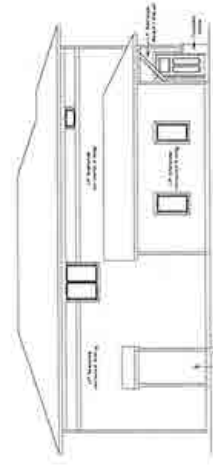
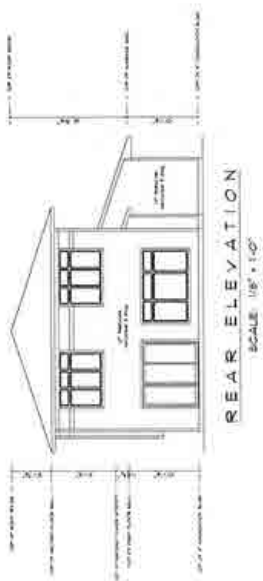
KASTER BRYAN

DATE	10/15/2024
DESCRIPTION	23-269-1
PROJECT	GARAGE LEFT
OWNER	KASTER BRYAN
ARCHITECT	KASTER BRYAN

SQUARE FOOTAGE:

1ST FLOOR	1,200 SF
2ND FLOOR	1,200 SF
GARAGE	1,200 SF
TOTAL	3,600 SF
COVERED PORCH	204 SF

NOTE:
 THE CONSTRUCTION PLAN CURRENTLY DOES NOT INDICATE PROPER WALL BRACING. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. PERMITS TO INSTALL THE START OF THE WALL BRACING PLUNGERS.



Front Primary Bedroom Plan





WILCONSLIN
BUILDING SUPPLY

GENERAL CONTRACTOR
1000 W. 10TH AVENUE
DENVER, CO 80202
TEL: 333-3333
FAX: 333-3333

IMPORTANT NOTE:
1. IT IS AGREED THAT THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND NOT TO THE CONSTRUCTION OF THE SAME. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION OR THE DESIGN OF THE STRUCTURE TO BE CONSTRUCTED THEREON. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING AND NOT FOR THE DESIGN OF THE FOUNDATION OR THE DESIGN OF THE STRUCTURE TO BE CONSTRUCTED THEREON.

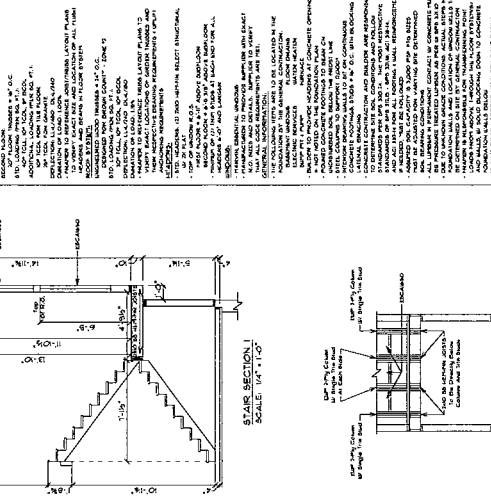
DATE	10/27/78	REVISIONS	10/27/78
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23-365-T
GARAGE LEFT

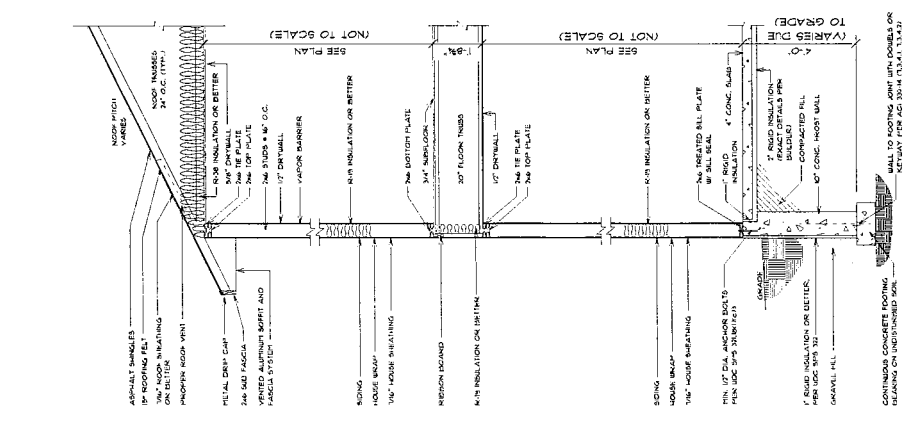
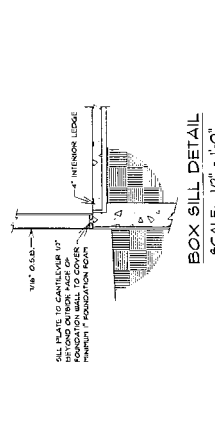
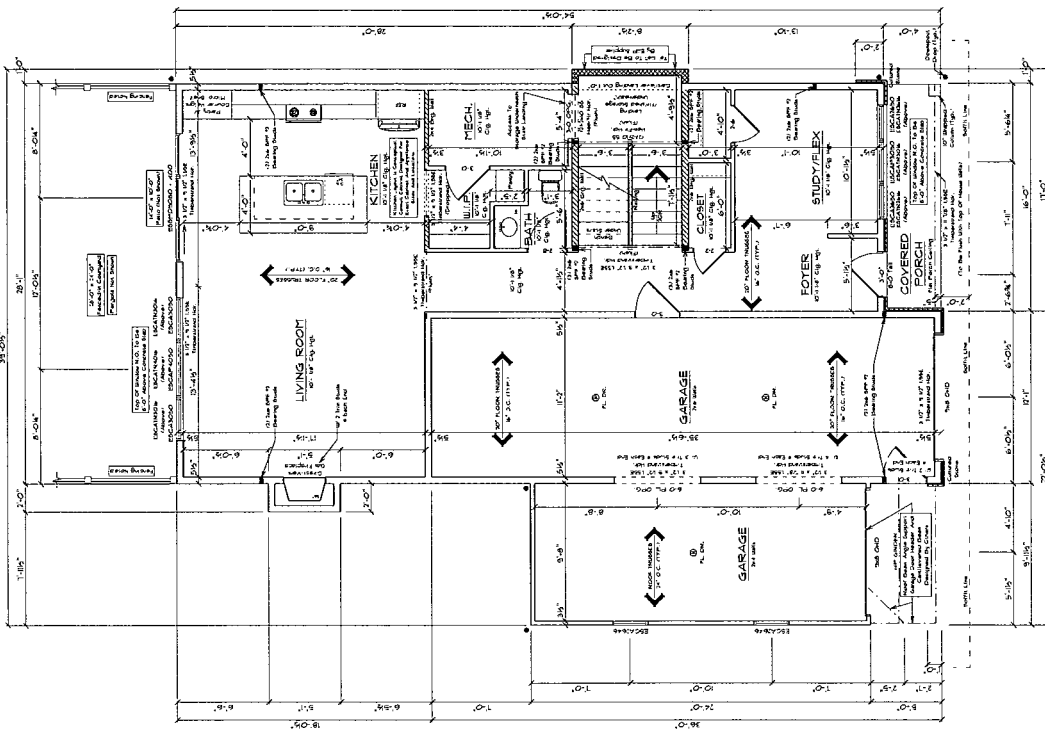
SQUARE FOOTAGE:

1ST FLOOR	1800
2ND FLOOR	1800
GARAGE	699
STORAGE	304
COVERED PORCH	94

PLAN SPECIFICATIONS:
1. THE CONDITIONS LISTED BELOW ARE ASSUMED TO BE TRUE AND CORRECT UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT EXTERIOR FINISHES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. FOUNDATION FOOTING IS TO BE FIELD ADDED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.



DATE	BY	REVISION
08/22/21	WJ/ML	REVISED
08/23/21	WJ/ML	REVISED
08/23/21	WJ/ML	REVISED
08/23/21	WJ/ML	REVISED

23-265-1
 GARAGE LEFT
 KASTER, BRYAN
 CONTRACTOR'S NAME

IT IS AGREED THAT THE ARCHITECT'S CONTRACT WITH THE CLIENT INCLUDES THE PROVISION OF ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT'S CONTRACT DOES NOT INCLUDE THE PROVISION OF ANY OTHER SERVICES OR PRODUCTS. THE ARCHITECT'S CONTRACT DOES NOT INCLUDE THE PROVISION OF ANY OTHER SERVICES OR PRODUCTS. THE ARCHITECT'S CONTRACT DOES NOT INCLUDE THE PROVISION OF ANY OTHER SERVICES OR PRODUCTS.

Wisconsin Building Supply
 1500 W. NORTH AVENUE
 MILWAUKEE, WI 53233
 TEL: 414.382.4400
 FAX: 414.382.4401
 WWW: WISCONSINBS.COM

SQUARE FOOTAGE:

FIRST FLOOR	1097
SECOND FLOOR	1867
STORAGE	695
CONDITIONED	304
COVERED PORCH	56

PLAN SPECIFICATIONS:

1. THE FOUNDATION SHALL BE CONCRETE ON A 4" MINIMUM SAND FILL. ALL CONCRETE SHALL BE 4000 PSI STRENGTH. ALL CONCRETE SHALL BE 4" MINIMUM THICKNESS. ALL CONCRETE SHALL BE 4" MINIMUM THICKNESS. ALL CONCRETE SHALL BE 4" MINIMUM THICKNESS.

2. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS.

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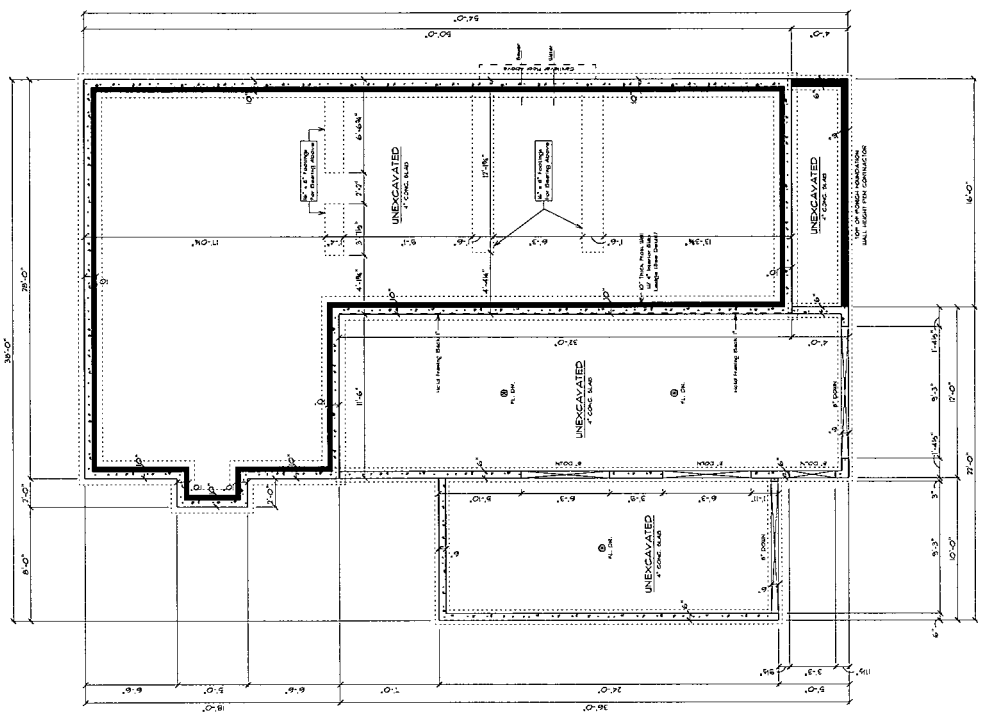
8. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS.

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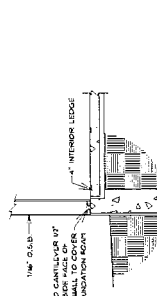
10. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS. ALL FOUNDATION WALLS SHALL BE 12" MINIMUM THICKNESS.

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

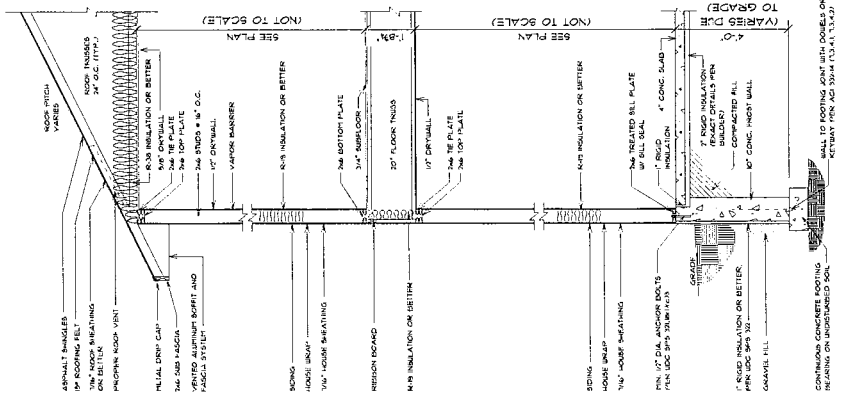
NOTE: DIMENSIONS ARE TO FACE OF FOUNDATION WALLS. EXTERIOR FRAMED HOUSE SHALL BE SET BACK FROM EXTERIOR WALLS AS SHOWN ON THE FOUNDATION PLAN.



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 4'-0" FROST WALL HGT.
 (VARIES DUE TO GRADE)



BOX SILL DETAIL
 SCALE: 1/2" = 1'-0"



TYPICAL TWO-STORY SECTION
 SCALE: 1/2" = 1'-0"
 ALL ITEMS TO BE VERIFIED BY CONTRACTOR

23-283-1	23-283-1	23-283-1	23-283-1	23-283-1	23-283-1
10000 SF	10000 SF	10000 SF	10000 SF	10000 SF	10000 SF
10000 SF	10000 SF	10000 SF	10000 SF	10000 SF	10000 SF
10000 SF	10000 SF	10000 SF	10000 SF	10000 SF	10000 SF
10000 SF	10000 SF	10000 SF	10000 SF	10000 SF	10000 SF
10000 SF	10000 SF	10000 SF	10000 SF	10000 SF	10000 SF

DISCLAIMER
 THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. THE INFORMATION IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS. THE INFORMATION IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS. THE INFORMATION IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.

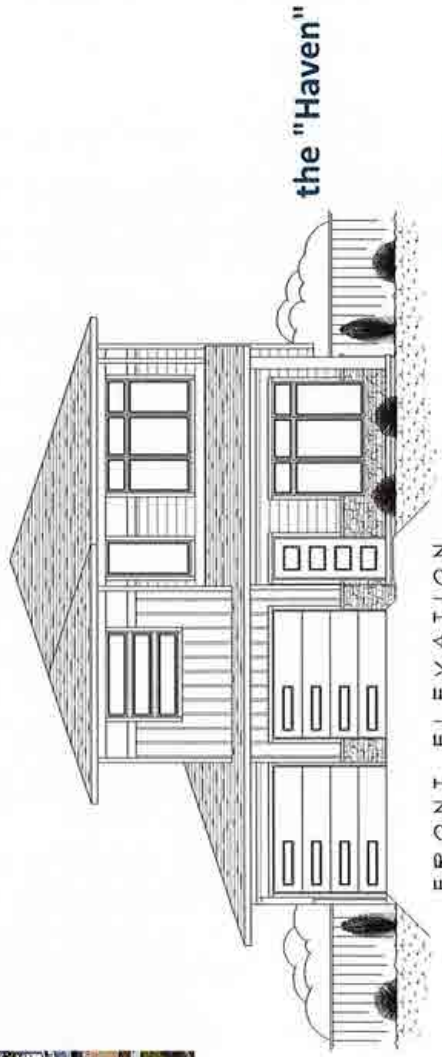
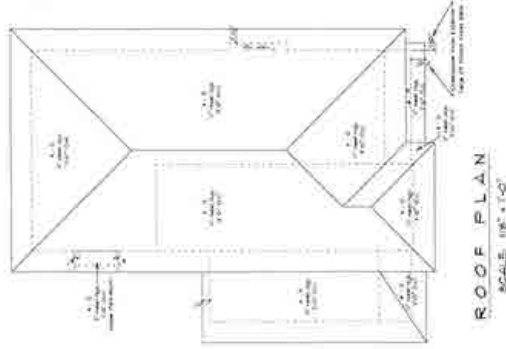
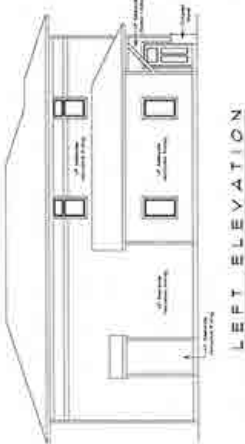
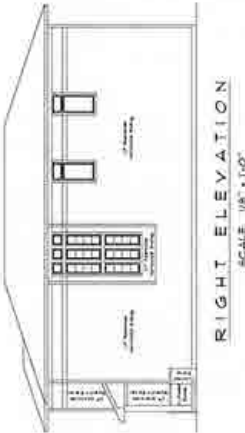
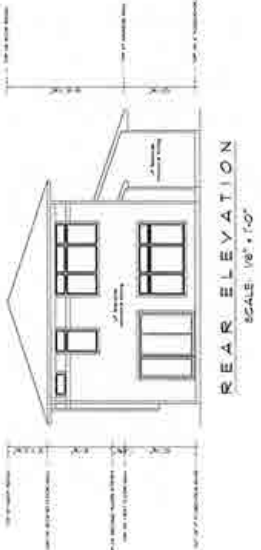
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WISCONSIN BUILDING SUPPLY
 12345 WISCONSIN BUILDING SUPPLY
 12345 WISCONSIN BUILDING SUPPLY
 12345 WISCONSIN BUILDING SUPPLY

SQUARE FOOTAGE

1ST FLOOR	10000 SF
2ND FLOOR	10000 SF
GARAGE	10000 SF
STORAGE	10000 SF
COVERED PORCH	10000 SF

NOTE:
 THIS CONSTRUCTION PLAN CURRENTLY DOES NOT MEET ALL BUILDING DEPARTMENT REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY FOR MORE INFORMATION AND TO OBTAIN THE NECESSARY PERMITS TO INITIATE THE START OF THE WALL BRACING CALCULATIONS.



Rear Primary Bedroom Plan

IMPORTANT NOTE:
IT IS AGREED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION AND THE DESIGN OF THE FOUNDATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION AND THE DESIGN OF THE FOUNDATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION AND THE DESIGN OF THE FOUNDATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GARAGE LEFT

23-283-T

DATE:	APRIL 2001
DESIGN BY:	ARNDT P.C.
CONTRACTOR:	KASTER, BRYAN
REVISED:	
DATE:	03/27/01
DATE:	03/27/01
DATE:	03/27/01

CONTRACTOR: KASTER, BRYAN

SQUARE FOOTAGE:

FIRST FLOOR:	100
SECOND FLOOR:	100
GARAGE:	659
COVERED PORCH:	54

PLAN SPECIFICATIONS:

1. THE CONDITIONS LISTED BELOW ARE THE ASSUMPTIONS MADE FOR THIS PLAN SET.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL CONCRETE SHALL BE 3000 PSI STRENGTH.

4. ALL CONCRETE SHALL BE CAST IN PLACE.

5. ALL CONCRETE SHALL BE FINISHED WITH A BROOM.

6. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.

7. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING TEMPERATURES.

8. ALL CONCRETE SHALL BE PROTECTED FROM DEBRIS.

9. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE.

10. ALL CONCRETE SHALL BE PROTECTED FROM DISCOLORATION.

11. ALL CONCRETE SHALL BE PROTECTED FROM SPALLING.

12. ALL CONCRETE SHALL BE PROTECTED FROM CRACKING.

13. ALL CONCRETE SHALL BE PROTECTED FROM DELAYED SETTING.

14. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE HEAT.

15. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE MOISTURE.

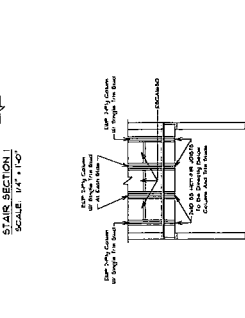
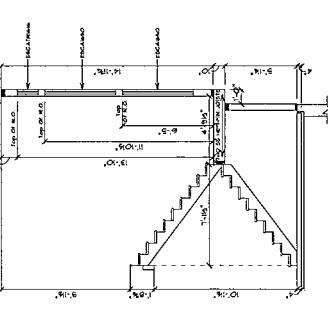
16. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE VIBRATION.

17. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE TRAFFIC.

18. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE WEIGHT.

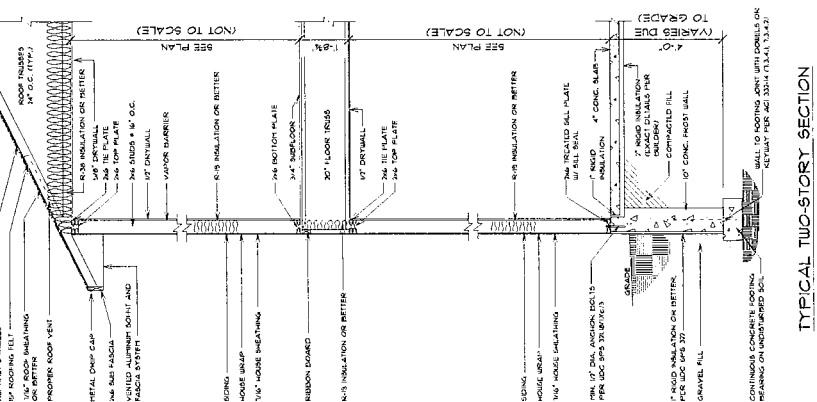
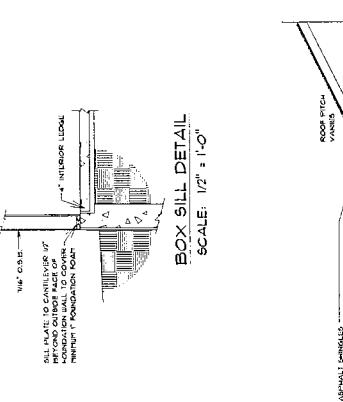
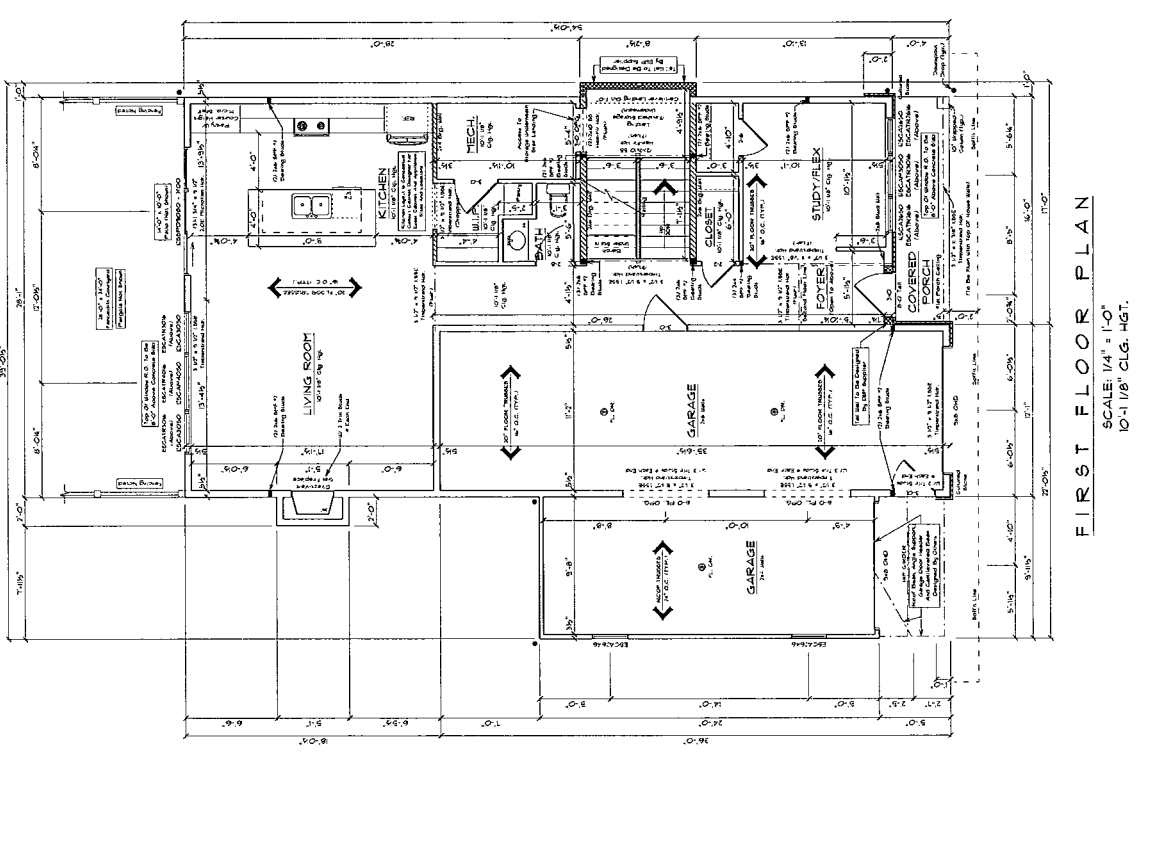
19. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE LOADS.

20. ALL CONCRETE SHALL BE PROTECTED FROM EXCESSIVE STRESS.



NOTE:
EXTENSION DIMENSIONS ARE SHOWN TO REFLECT HOIST SPACING WALLS HELD OUT BY JOINTS ABOVE FOUNDATION FOOTING. FOUNDATION FOOTING SHALL BE CONCRETE. ALL DIMENSIONS ARE TO BE OBTAINED FROM THE FOUNDATION FOOTING TO THE CENTERLINE OF THE WALL. ALL DIMENSIONS ARE TO BE OBTAINED FROM THE CENTERLINE OF THE WALL TO THE CENTERLINE OF THE WALL.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION AND THE DESIGN OF THE FOUNDATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION AND THE DESIGN OF THE FOUNDATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



DATE: 12/12/11	BY: [Signature]
REVISION: 1/10/12	BY: [Signature]
REVISION: 2/10/12	BY: [Signature]
REVISION: 3/10/12	BY: [Signature]
REVISION: 4/10/12	BY: [Signature]
REVISION: 5/10/12	BY: [Signature]
REVISION: 6/10/12	BY: [Signature]
REVISION: 7/10/12	BY: [Signature]
REVISION: 8/10/12	BY: [Signature]
REVISION: 9/10/12	BY: [Signature]
REVISION: 10/10/12	BY: [Signature]
REVISION: 11/10/12	BY: [Signature]
REVISION: 12/10/12	BY: [Signature]

23-283-T
 GARAGE LEFT
 KASTER, BRYAN

Wisconsin
 BUILDING SUPPLY

SQUARE FOOTAGE:	
FIRST FLOOR	1076
SECOND FLOOR	1076
GARAGE	696
COVERED PORCH	318
COVERED PORCH	54

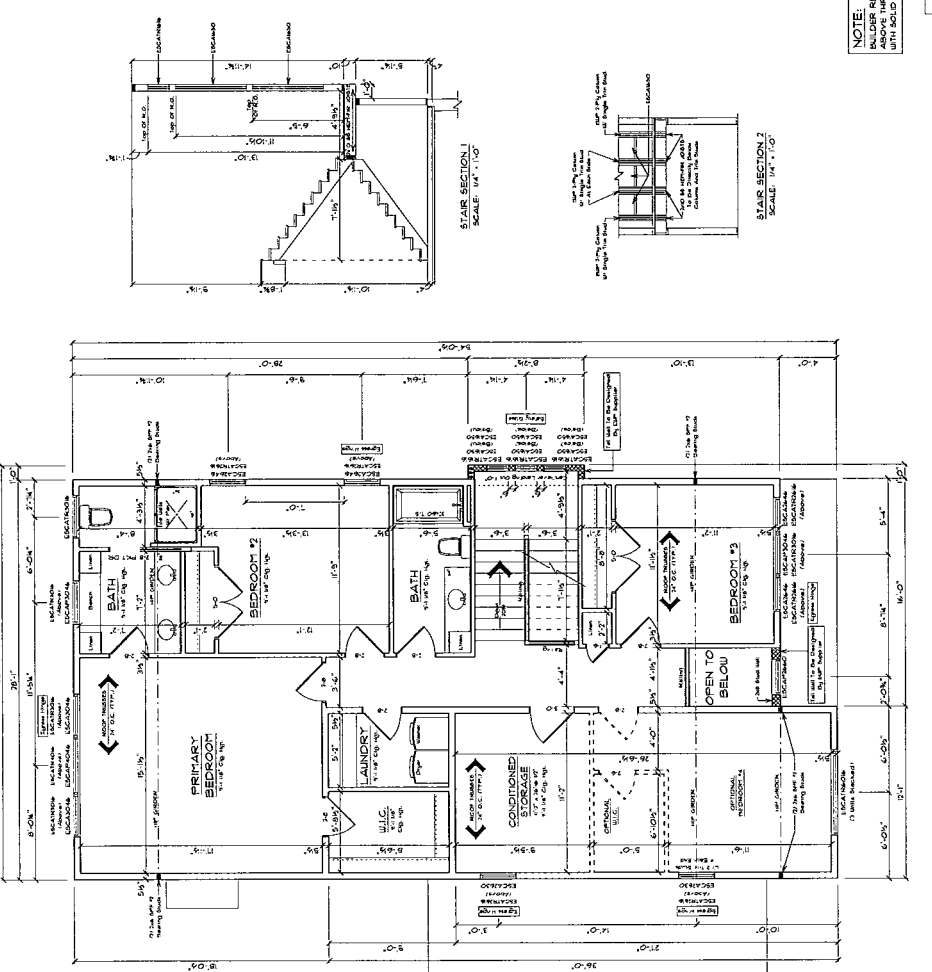
PLAN SPECIFICATIONS:
 THE CONDITIONS LISTED BELOW ARE THE ASSUMPTIONS AND NOT ON THE PLAN THEY SHALL BE OBSERVED:

- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL SAFETY COUNCIL (NSC) CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HOME BUILDERS (NAHB) CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ARCHITECTS (AIA) CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF PROFESSIONAL ENGINEERS (NAPE) CODES.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF PROFESSIONAL ARCHITECTS (NAPA) CODES.

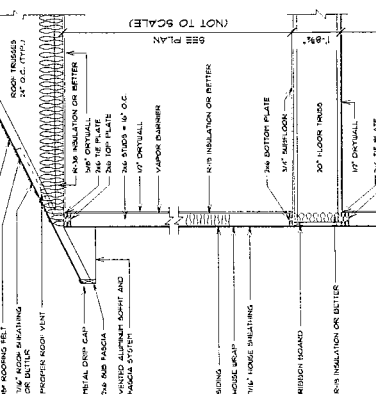
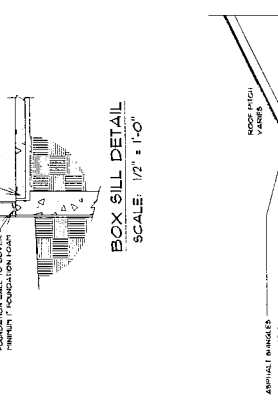
IMPORTANT NOTE:
 IT IS ADVISED THAT THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE STRUCTURE ONLY. THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE INTERIORS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE INTERIORS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.

NOTE:
 EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FINISH WALLS BUILT OUT 1/2" FOR FOUNDATION FOOTING. FOUNDATION FOOTING IS TO BE OTHER THAN 1". FINISH DIMENSIONS ARE TO COMPLY WITH ALL CODES.

NOTE:
 THE DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE INTERIORS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE INTERIORS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 9'-1 1/8" CLG. HGT.



TYPICAL TWO-STORY SECTION
 SCALE: 1/2" = 1'-0"
 [ALL ITEMS TO BE VERIFIED BY CONTRACTOR]

OFFICE
1100 BROADWAY
MILWAUKEE, WISCONSIN 53233
PHONE: 414-224-1100
FAX: 414-224-1101

IT IS AGREED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AUTHORITIES.

DATE: 01/23/2014	BY: KASTNER, BRYAN
DATE: 01/23/2014	BY: KASTNER, BRYAN
DATE: 01/23/2014	BY: KASTNER, BRYAN
DATE: 01/23/2014	BY: KASTNER, BRYAN
DATE: 01/23/2014	BY: KASTNER, BRYAN

SQUARE FOOTAGE:

FOUND. WALL	100
FOUND. FLOOR	100
FOUND. ROOF	100
STORAGE	100
COVERED PORCH	100

PLAN SPECIFICATIONS:

1. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

4. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

5. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

6. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

7. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

8. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

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20. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

21. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

22. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

23. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

24. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

25. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

26. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

27. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

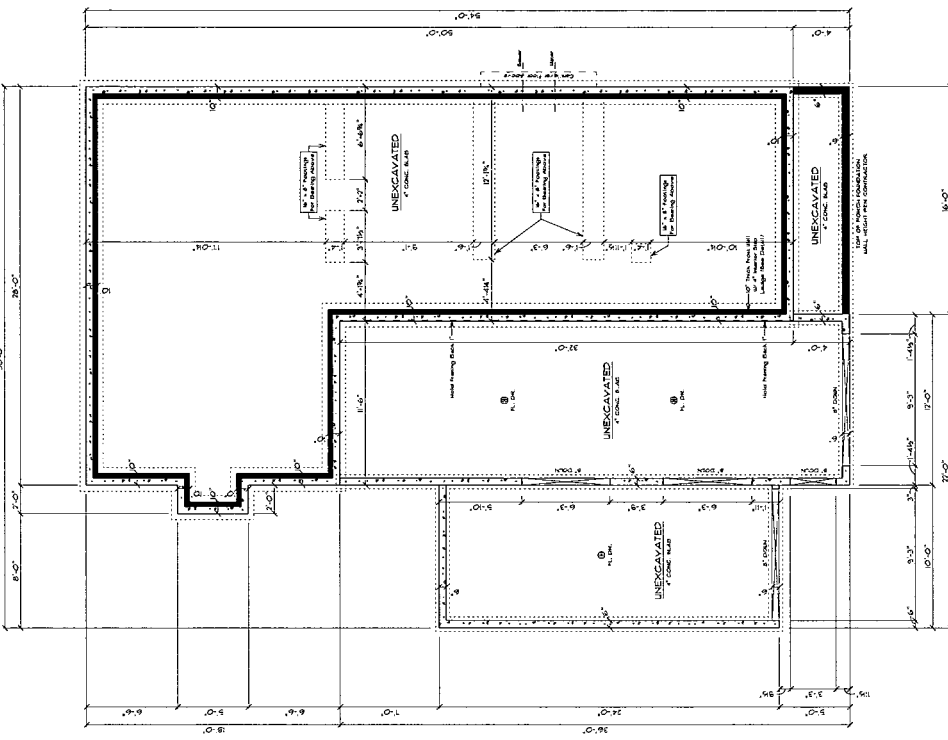
28. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

29. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

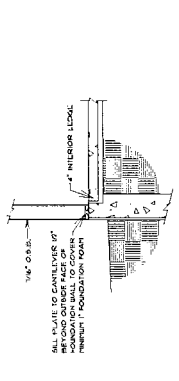
30. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

NOTE:

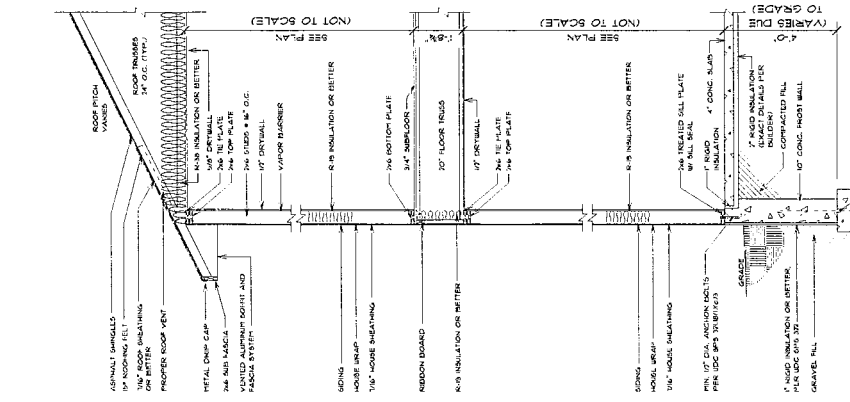
EXTENSION DIMENSIONS ARE TO FACE OF FOUNDATION WALLS. INTERIOR FINISHED HOUSE DIMENSIONS ARE TO FACE OF FOUNDATION WALLS.



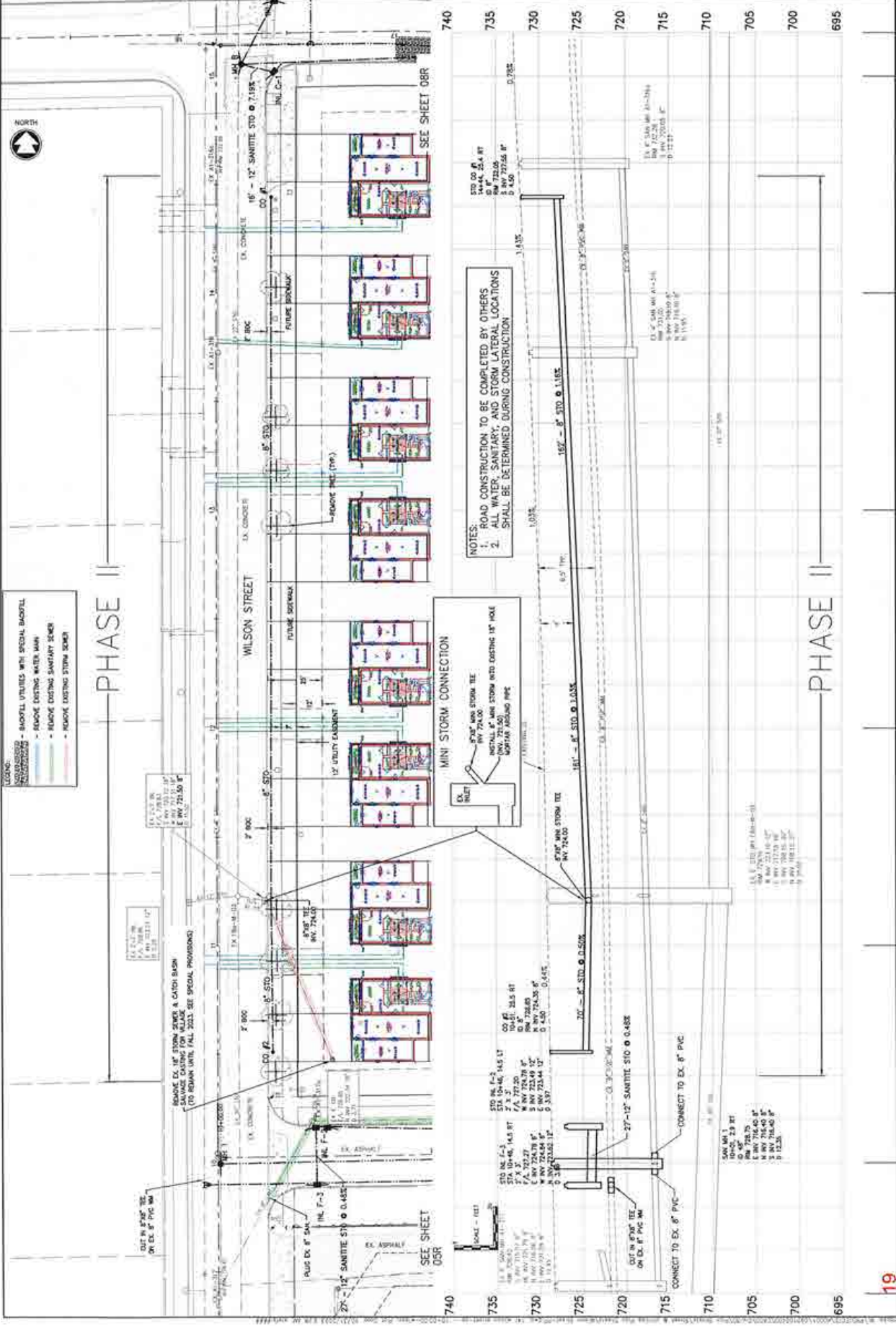
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
4'-0" FROST WALL HGT.
(VARIES DUE TO GRADE)



BOX SILL DETAIL
SCALE: 1/2" = 1'-0"



TYPICAL TWO-STORY SECTION
SCALE: 1/2" = 1'-0"
ALL ITEMS TO BE VERIFIED BY CONTRACTOR



LEGEND:

- MANHOLE - MANHOLE WITH SPECIAL BACKFILL
- EXISTING WATER MAIN
- EXISTING SANITARY MAIN
- EXISTING STORM SINKER

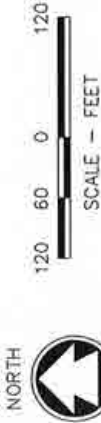
NOTES:
ROAD CONSTRUCTION TO BE COMPLETED BY OTHERS
1. ALL WATER, SANITARY, AND STORM LATERAL LOCATIONS SHALL BE DETERMINED DURING CONSTRUCTION

740	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
735	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
730	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
725	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
720	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
715	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
710	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
705	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
700	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'
695	STO 00 144.4 25.4 RT DO 0 733.05 RW 732.05 S 8W 732.56 8'

McMAHON ASSOCIATES, INC.
 PROJECT NO. 092100400
 SHEET NO. 20
 DATE 10/20/2023

THE BLUE DEVELOPMENT
V. OF KIMBERLY, OUTAGAMIE COUNTY, WI

DESIGNED	DRAWN
ZRL	ZRL
PROJECT NO.	K0001-092100400
DATE	10/20/2023
SHEET NO.	1



LEGEND

[Light Green Box]	LANDSCAPED AREAS WITHIN PUBLIC RIGHT-OF-WAY = 0.42 ACRES
[Medium Green Box]	GREEN SPACE WITHIN PRIVATE DEVELOPMENT = 11.88 ACRES
[Dark Green Box]	PRIVATE DEVELOPMENT GREEN SPACE % = GREEN SPACE / TOTAL ACREAGE = 11.88 ACRES / 18.816 ACRES = 63.1%



Fox River shore frontage: 2,111' lineal feet



**Village of Kimberly
Request for
Planning Commission Recommendation**

ITEM DESCRIPTION: Bob's Heating and Cooling Site Review

REPORT PREPARED BY: Greg Ulman

REPORT DATE: January 16, 2024

EXPLANATION: Bob's Heating and Cooling located at 123 S. Railroad St., zoned B-1, is looking to upgrade their property to have a more appealing Village presence. Currently on their lot they have their main office building, a house, a garage in the rear of the lot, and their discarded parts behind the office building. They are looking to raze the house and the garage; add parking where the house currently stands, add a fenced area where the garage currently sits, as well as add a 1,980 sq ft. garage behind the office in place of the parts area. With these upgrades to the property, it will be more visually appealing for the residents who adjacent the property.

- **Parking lot** - Existing house will be razed for a 10-stall handicap accessible parking lot. The parking lot will have a 12- and 10-inch storm sewer will have a sump bottom then will flow into our 24" main in the street. The entire site is less than 20,000 sq.ft, and does not fall into a stormwater management plan ([§ 425-30 Performance standards.](#))
- **Fenced in area** - It will be a traditional 8-foot-tall chain linked fence with privacy slots that will have an 8-foot-wide gated opening to house scrap parts and dumpsters.
- **New Garage** – The 66' x 30' garage will have 12-foot walls with a roof pitch of 4-12. The exterior will be metal with a metal roof. It will have 2- 10' x 10' garage doors and two standard pedestrian doors. The garage will sit a minimum of 10 feet off the south property line and 10' 1" off the east property line.
- **Traffic Impact** – The traffic impact will improve with this design, as customers and employees will no longer need to park on the street and can safely park in the parking lot, reducing potential incidents with passing traffic.

RECOMMENDED ACTION: To provide feedback and approve or deny the site plan.

Attachments: Site plans and narrative.

January 5, 2024

Mr. Greg Ulman, Director of Public Works / Zoning Administrator
VILLAGE OF KIMBERLY
515 W Kimberly Ave
Kimberly, WI 54136

RE: Bob's Quality Heating & Air Conditioning – Site Plan Application

Dear Mr. Ulman:

On behalf of Bob's Quality Heating & Air Conditioning, Robert E. Lee & Associates, Inc. is submitting the attached site plan review application documents. Bob's Quality Heating & Air Conditioning is proposing to construct a new 1,980 square foot garage/storage building in the southeast corner of their property at 123 S Railroad Street and reconstruct the paved parking lot. An existing residential home and small garage building have been demolished on site to make room for the proposed improvements. See the attached plan set for additional details. Effects on the adjoining properties will be minimal as this business is already located on this property and the use will remain the same. Significant changes in traffic generation are not anticipated being that the use is remaining the same as well.

Please review at your earliest convenience and let us know if you have any questions or comments.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Aaron Breitenfeldt, PE
Sr. Project Manager

AJB

ENC.

Site Plan Review Checklist

Project:

Category	Item	Plan Element Information	Location, Plan, Sheets(PS) or Map	Comments
Civil Plans	1	Name of project/development;	Plan Sheet C	
	2	Location of project/development by street address, or CSM	Plan Sheet 2	
	3	Name and mailing address of developer/owner;	Plan Sheet 1	
	4	Name and mailing address of engineer/architect;	Plan Sheet 1	
	5	North point indicator;	All Plan Sheets	
	6	Scale;	All Plan Sheets	
	7	Boundary lines of property, with dimensions;	Plan Sheets 1 and 2	
	8	Location identification, and dimensions of existing and proposed:		
		a. Topographic contours at a minimum interval of two feet, and key spot elevations;	Plan Sheet 4	
		b. Adjacent streets and street right of ways, respective to the elevation of building first floor;	Plan Sheet 4	
		c. On site streets and street right of ways, and fire lanes;	Plan Sheets 1-4	
		d. Utilities and any easements.	Plan Sheet 3	
		e. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet 2	
	f. Public Utilities: The location of sanitary and storm sewer lines and water mains;	Plan Sheet 3		
	g. Description of proposed system for drainage and a storm water plan showing existing and final grades.	Plan Sheet 4		
	h. Water bodies and wetlands;	n/a		
	i. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet 2		
	j. Parking facilities;	Plan Sheet 2		
	k. Sidewalks, walkways, and driveways;	Plan Sheet 2		

Civil Plans	9	I. Off street loading areas and docks;	Plan Sheet 2
		m. Fences and retaining walls;	Plan Sheet 2
		n. All signs;	n/a
		o. Exterior refuse collection areas and the required enclosure(s);	Plan Sheet 2
		p. Exterior lighting;	n/a
		q. Traffic flow on and off site.	Plan Sheet 2
		r. Location of open space/green space;	Plan Sheet 2
		s. Location and dimensions of proposed outdoor display areas;	n/a
		t. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network	Plan Sheet 2
		u. The location of recreational and open space areas;	n/a
		v. Site statistics, including:	
		i. Sq. Footage	Plan Sheet 2
		ii. Percent site coverage;	Plan Sheet 2
iii. Percent open space; and green space	Plan Sheet 2		
9	Erosion control plans;	Plan Sheets 4 and 6-11	
10	Landscaping plan	n/a	
Architectural Plans	11	Architectural Plans of the proposed structures and buildings, including:	
		a. Elevation and Floor Plans;	A1.1, A2.0, A2.1, A3.0, A10.0
		b. All dimensions;	A1.1, A2.0
		c. Gross square footage of existing and proposed buildings and structures; and	Plan Sheet 2
		d. Description of all exterior finish materials.	A2.0 and A2.1



VILLAGE OF KIMBERLY
Site Review Application

Submit to:
Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Robert E. Lee & Associates, Inc. - Aaron Breitenfeldt, PE Date: 1/5/2024
Petitioner Address: 1250 CENTENNIAL CENTRE BLVD City: HOBART State: WI Zip: 54155
Telephone #: (920) 662-9641 Fax: () email: abreitenfeldt@releeinc.com
Status of Petitioner (please check one): ___ Owner X Representative ___ Tenant ___ Prospective Buyer

Petitioner's Signature (required): Awa Breitenfeldt

Owner Information

Owner(s): Bob's Quality Heating & Air Conditioning Date: 1/5/2024
Owner(s) Address: 123 S RAILROAD STREET City: KIMBERLY State: WI Zip: 54136
Telephone #: (920) 788-5094 Fax: () email: todd@bobsqualityheating.com
Ownership Status (please check one): ___ Individual ___ Trust ___ Partnership ___ Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: Todd Nemitz Date: 1-5-24

Site Information

Address/Location of Proposed Project: 123 RAILROAD STREET Zoning: B-1
Proposed Project or Use: PROPOSED GARAGE BUILDING AND PARKING LOT RECONSTRUCTION
Current or last Use of Property: HEATING AND COLLING OFFICE/SHOP
Land Uses Surrounding this Address: North: RESIDENTIAL
South: RESIDENTIAL
East: RESIDENTIAL
West: PUBLIC WORKS/MUNICIPAL BUILDING

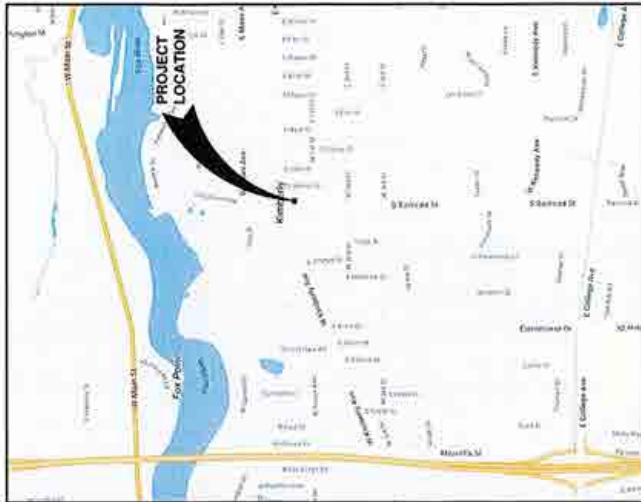
- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
Application Fees must be submitted with the application.

Submittal Requirements -- Must accompany the application to be complete.

- A narrative of the proposed building or addition including:
 - Proposed use of the property
 - Existing use of the property
 - Effects on adjoining properties to include: noise, hours of operation, glare, odor, fumes, vibration, etc.
 - Compatibility of the proposed use with adjacent and other properties in the area.
 - Traffic generation
 - Any other information pertinent to adequate understanding of the intended use and its relation to nearby properties
- Complete site plans including:
 - Two (2) legible scaled and dimensioned drawings/prints of site plan and building elevations (when applicable.)
 - Two (2) 8 ½" x 11 (minimum) to 11" x 17" (maximum) reduction of the site plan and building elevations (when applicable.)
 - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, walls.
 - Location of all outdoor storage and refuse disposal areas and the design and materials used for construction
 - Location and dimension of all on-site parking (and off-site parking provisions if they are to be employed
 - Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan.
 - Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generators.

BOB'S QUALITY HEATING EXPANSION FOR FOX CITIES BUILDERS VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE
OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



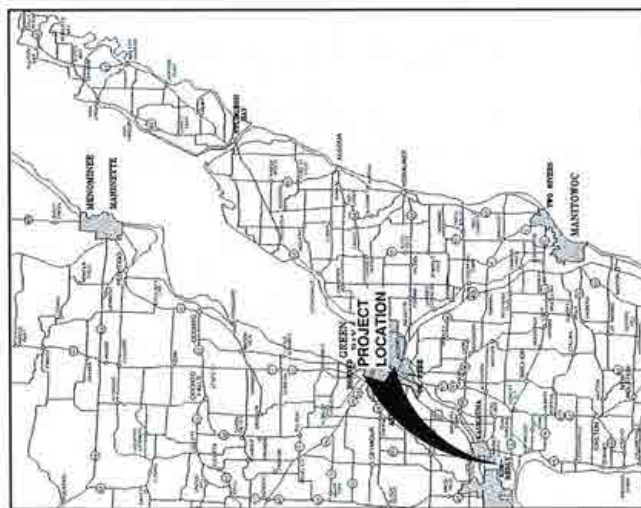
LOCATION MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. ALL UTILITY
LOCATIONS SHALL BE NOTIFIED FOR LOCATED BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

NOTE:
EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL REMAIN IN PLACE THROUGHOUT
CONSTRUCTION. EROSION CONTROL,
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	EXISTING SITE CONDITIONS
2	UTILITY PLAN
3	GRADING PLAN AND EROSION CONTROL PLAN
4	MISCELLANEOUS DETAILS
5	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
6	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
7	EROSION CONTROL - SHEET FLOW DETAILS
8	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
9	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
10	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
11	



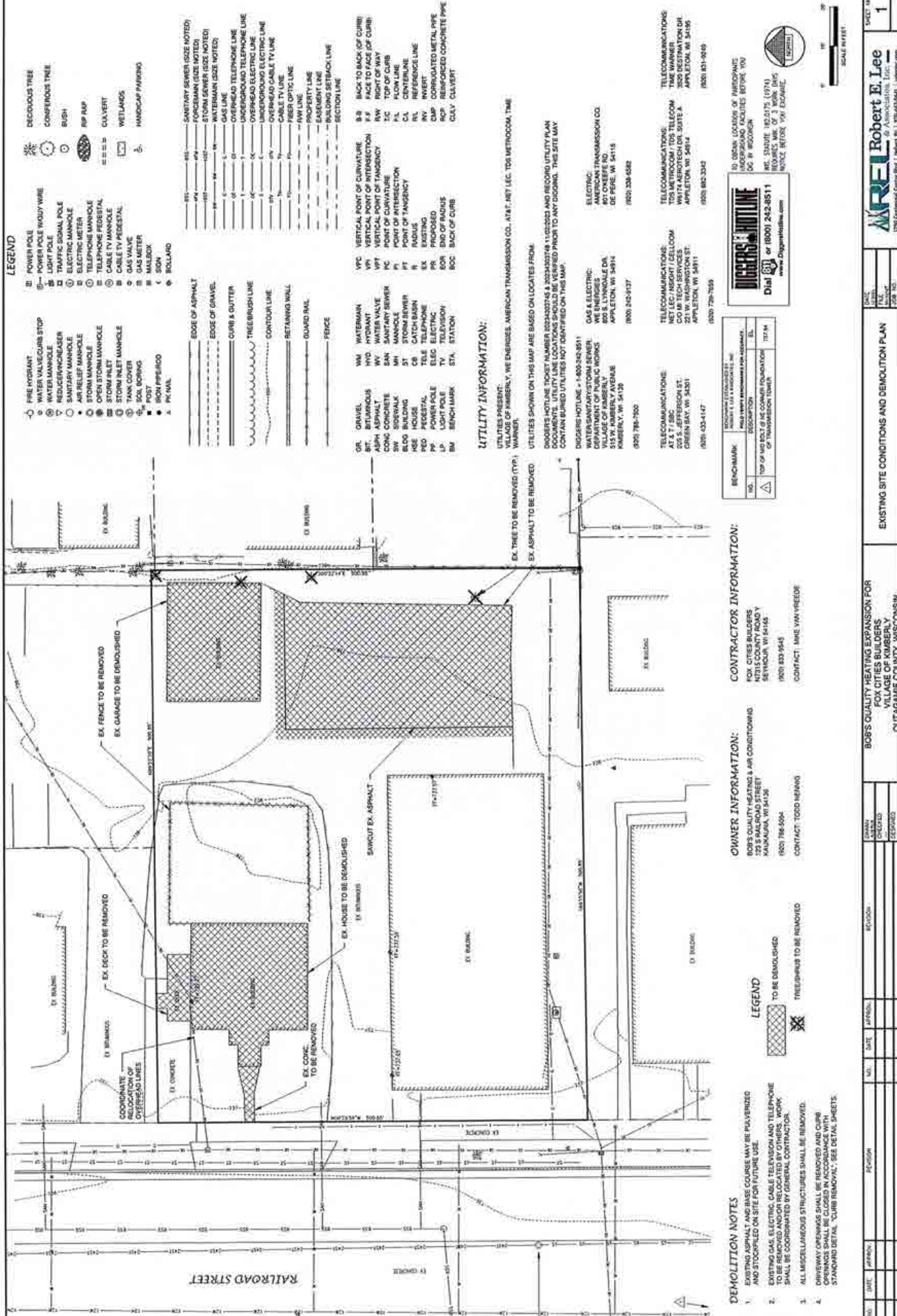
VICINITY MAP

DRAWN BY		DATE		REGION		SHEET NO.	
CHECKED BY		DATE		REGION		C	
REVISION		DATE		REGION		C	
NO.		DATE		REGION		C	
NO.		DATE		REGION		C	
NO.		DATE		REGION		C	

BOB'S QUALITY HEATING EXPANSION FOR
FOX CITY BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

LOCATION MAPS

AREL Robert E. Lee
& Associates, Inc.
228 Commercial County Blvd | Manitowish, WI | 920-662-2641 | arel.com



- ### LEGEND
- FIRE HYDRANT
 - WATER VALVE/CURB STOP
 - WATER MANHOLE
 - REDUCING/RISER
 - SANITARY MANHOLE
 - AIR RELIEF MANHOLE
 - STORM MANHOLE
 - OPEN STORM MANHOLE
 - STORM INLET
 - STORM INLET MANHOLE
 - TANK COVER
 - RAIL TOPPING
 - IRON PIPE/CO
 - RY RAIL
 - POWER POLE
 - WATER POLE/WOLLY WIRE
 - LIGHT POLE
 - TRAFFIC SIGNAL POLE
 - ELECTRIC MANHOLE
 - AIR RELIEF MANHOLE
 - TELEPHONE MANHOLE
 - TELEPHONE PEDestal
 - CABLE TV MANHOLE
 - GAS VALVE
 - GAS METER
 - MAN BOX
 - SS
 - BOLLARD
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - RPP RPP
 - CLAVERT
 - WETLANDS
 - HANDICAP PARKING

- 955 - 915
- 915 - 875
- 875 - 835
- 835 - 795
- 795 - 755
- 755 - 715
- 715 - 675
- 675 - 635
- 635 - 595
- 595 - 555
- 555 - 515
- 515 - 475
- 475 - 435
- 435 - 395
- 395 - 355
- 355 - 315
- 315 - 275
- 275 - 235
- 235 - 195
- 195 - 155
- 155 - 115
- 115 - 75
- 75 - 35
- 35 - 0

- GR. GRAVEL
- SIT. BITUMINOUS
- ASPH. ASPHALT
- CONC. CONCRETE
- BLDG. BUILDING
- KSE. HOUSE
- PEO. PEDESTAL
- PP. POWER POLE
- LP. LIGHT POLE
- BM. BENCH MARK
- WM. WATER MAIN
- HYD. HYDRANT
- WV. WATER VALVE
- SN. SANITARY SEWER
- ST. STORM SEWER
- CB. CATCH BASIN
- TEL. TELEPHONE
- ELEC. ELECTRIC
- TV. TELEVISION
- STA. STATION
- VTC. VERTICAL POINT OF CURVATURE
- VP. VERTICAL POINT OF INTERSECTION
- FW. FACE OF WAY
- PC. POINT OF CURVATURE
- PT. POINT OF TANGENCY
- R. RADIUS
- E. EXISTING
- PR. PROPOSED
- EDR. END OF RADIIUS
- BOC. BACK OF CURB

UTILITY INFORMATION:

UTILITIES PRESENT:
 VILLAGE OF FARMERSVILLE, WE ENERGIES, AMERICAN TRANSMISSION CO., AT&T, MET. IEG. TDS METROSCOA, TIME WARNER.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATIONS FROM SURVEYS AND ASSET DATA. LOCATIONS OF UTILITIES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE: 1-800-243-8511
 THE ILLINOIS UTILITIES BOARD
 DEPARTMENT OF PUBLIC WORKS
 VILLAGE OF FARMERSVILLE
 515 W. KIMBERLY AVENUE
 FARMERSVILLE, WI 54109
 (920) 788-7000

CLAS & ELECTRIC:
 800 S. LYNDGALE DR.
 APPLETON, WI 54914
 (800) 242-9137

AMERICAN TRANSMISSION CO.:
 401 ONEEYE RD.
 DE PERE, WI 54115
 (920) 338-4382

TELECOMMUNICATIONS:
 NET LEC / NSGORT / CELLECOM
 CO BI TECH SERVICES
 251 W. WASHINGTON ST.
 APPLETON, WI 54911
 (920) 423-4147

TELECOMMUNICATIONS:
 TDS METROCOM / TDS TELECOM
 TIME WARNER
 3200 DESTINATION DR.
 APPLETON, WI 54916
 (920) 853-3343

TELECOMMUNICATIONS:
 TDS METROCOM / TDS TELECOM
 TIME WARNER
 3200 DESTINATION DR.
 APPLETON, WI 54916
 (920) 853-3343

DIGGERS HOTLINE:
 Dial 811 or (800) 242-8511
 www.diggershotline.com

BENCHMARK:
 105
 DESCRIPTION: Top of iron bolt at corner foundation of Transmission Tower
 37.3 M

OWNER INFORMATION:
 BOB'S QUALITY HEATING & AIR CONDITIONING
 523 S. HALL ROAD STREET
 KAMAUANA, WI 54138
 (920) 788-5004
 CONTACT: TODD HENNING

CONTRACTOR INFORMATION:
 BOB'S QUALITY HEATING & AIR CONDITIONING
 523 S. HALL ROAD STREET
 KAMAUANA, WI 54138
 (920) 788-5004
 CONTACT: MARE VAN VREEDE

- ### DEMOLITION NOTES
- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
 - EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
 - ALL UNDESIRABLE STRUCTURES SHALL BE REMOVED.
 - DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL. CURB REMOVAL, SEE DETAIL SHEETS.

- ### LEGEND
- TO BE DEMOLISHED
 - TREE/SHRUB TO BE REMOVED

SCALE: 1" = 40'

DATE: JUNE 2008

PROJECT: BOB'S QUALITY HEATING EXPANSION FOR BOY CHURCH, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

DRAWN BY: JLR

CHECKED BY: JLR

DATE: JUNE 2008

PROJECT: BOB'S QUALITY HEATING EXPANSION FOR BOY CHURCH, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

BOB'S QUALITY HEATING EXPANSION FOR BOY CHURCH, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS AND DEMOLITION PLAN

SCALE: 1" = 40'

DATE: JUNE 2008

PROJECT: BOB'S QUALITY HEATING EXPANSION FOR BOY CHURCH, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

DRAWN BY: JLR

CHECKED BY: JLR

DATE: JUNE 2008

PROJECT: BOB'S QUALITY HEATING EXPANSION FOR BOY CHURCH, VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN



DATE	2024.07.10
DESIGNER	AREL
PROJECT NO.	20079400
SCALE	AS SHOWN

SITE PLAN

BOB'S QUALITY HEATING EXPANSION FOR
 FOX CITIES BUILDERS
 VILLAGE OF KIMBERLY
 OUTAGAMIE COUNTY, WISCONSIN

NO.	DATE	REVISION	BY

NO.	DATE	APPROVED

NO.	DATE	APPROVED

NO.	DATE	APPROVED

NO.	DATE	APPROVED

NO.	DATE	APPROVED

NO.	DATE	APPROVED

- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (LIGHT) (S.F.)
 - ASPHALT PAVEMENT (HEAVY) (S.F.)
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" STANDARD CURB AND GUTTER
 - PROPOSED 18" STANDARD SKEDDING CURB AND GUTTER
 - PROPOSED 18" MOUNTABLE CURB AND GUTTER
 - PROPOSED 18" MOUNTABLE SKEDDING CURB AND GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATED NUMBER OF PARKING STALLS

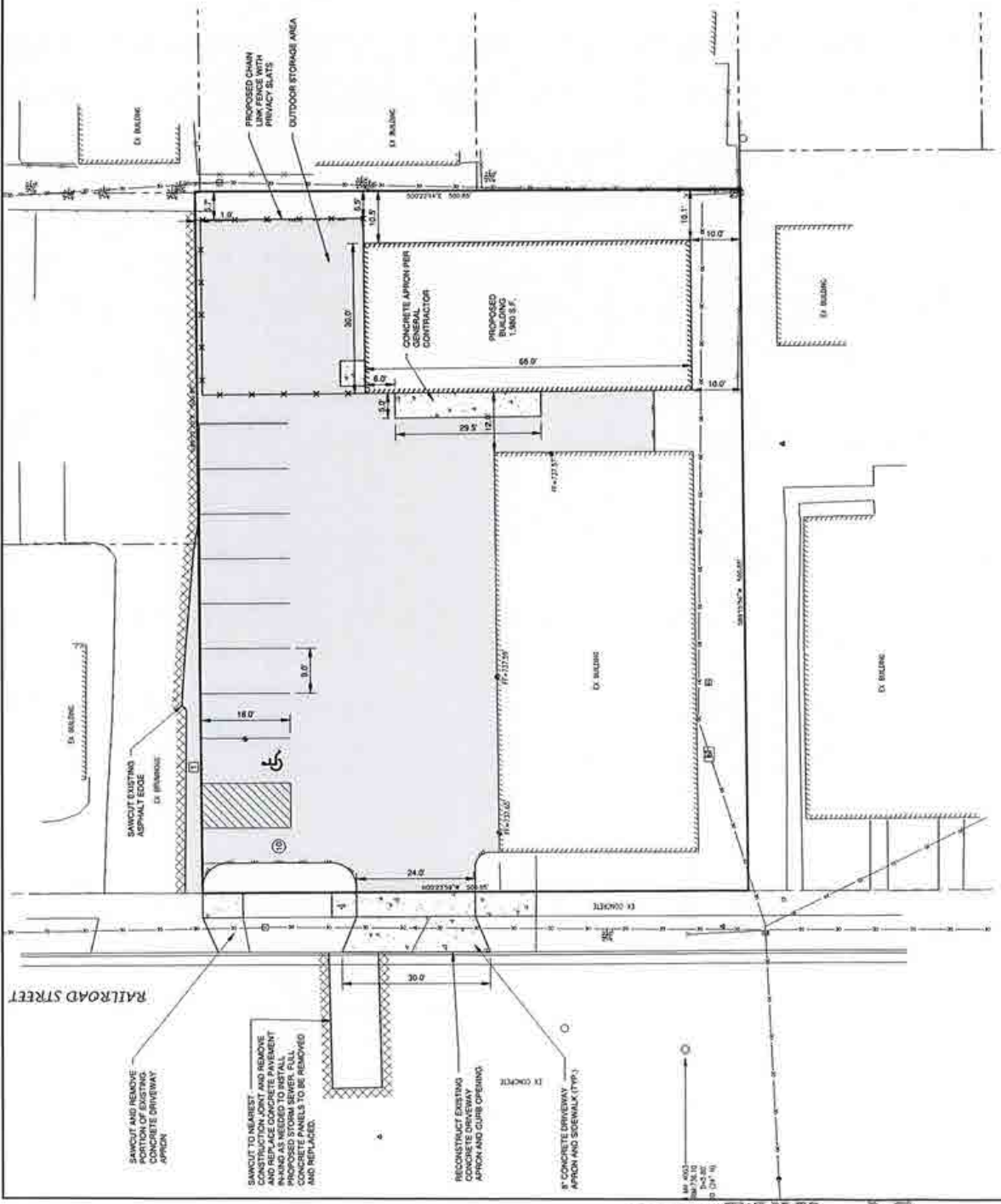
*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES. SEEDED AND MULCHED. STONES SHALL BE TAKEN FREE OF STONES AND CLUMPS.

PARKING DATA
 TOTAL PARKING STALLS PROVIDED = 10
 HANDICAP ACCESSIBLE PARKING STALLS = 1

SITE DATA
 TOTAL AREA = 0.35 ACRES; 15,440 S.F.
 BUILDING AREA = 0.12 ACRES; 5,200 S.F. (33.8%)
 SIDEWALK/PARKING LOT AREA = 0.17 ACRES; 7,360 S.F. (47.7%)
 GREEN SPACE = 0.06 ACRES; 2,880 S.F. (18.7%)

ZONING
 B-1 GENERAL BUSINESS DISTRICT
 PARCEL NO. 20079400



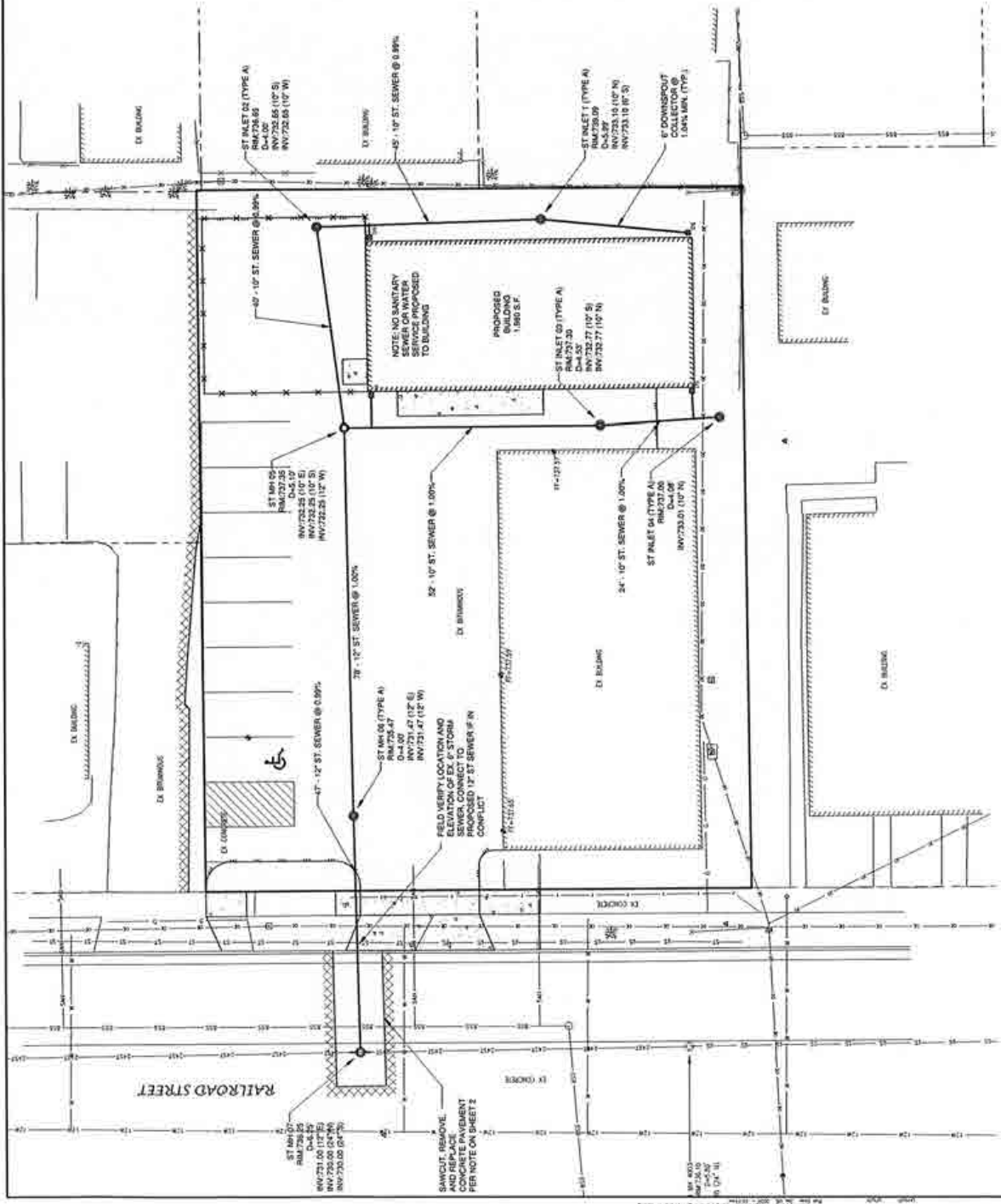
LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED STORM SEWER
- EXISTING STORM SEWER (SIZE NOTED)
- PROPOSED WATERMAIN
- EXISTING WATERMAIN (SIZE NOTED)

- FIRE HYDRANT
- WATER VALVE/SECURED STOP
- WATER MANHOLE
- REDUCER/REDUCER
- SANITARY MANHOLE
- LIFT STATION
- TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- STORM MANHOLE
- STORM CATCH BASIN
- STORM INLET
- STORM INLET MANHOLE
- YARD DRAIN
- STORM DOWNSPOUT
- ROOF DOWNSPOUT
- DISCHARGE STRUCTURE

NOTE

1. A MINIMUM OF 8-9 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER MAINS AS ADOPTED BY THE BOARD OF SUPERVISORS AND ADMINISTRATIVE CODE CHAPTERS SP3-361-387.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES/MAINS SHALL BE PROVIDED WITH TRACER WIRE ON OTHER METHOD TO BE LOCATED.
5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



SCALE IN FEET

0 10 20

**BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN**

DATE: _____

BY: _____

CHECKED: _____

DESIGNED: _____

REV. DATE: _____

REV. DATE: _____

REV. DATE: _____

REV. DATE: _____

REGION: _____

REGION: _____

SHEET NO. **3**

AREL Robert E. Lee

REGISTERED PROFESSIONAL ENGINEER

1200 Continental Center Blvd | Madison, WI | 734-420-8441 | arel@arell.com

UTILITY PLAN

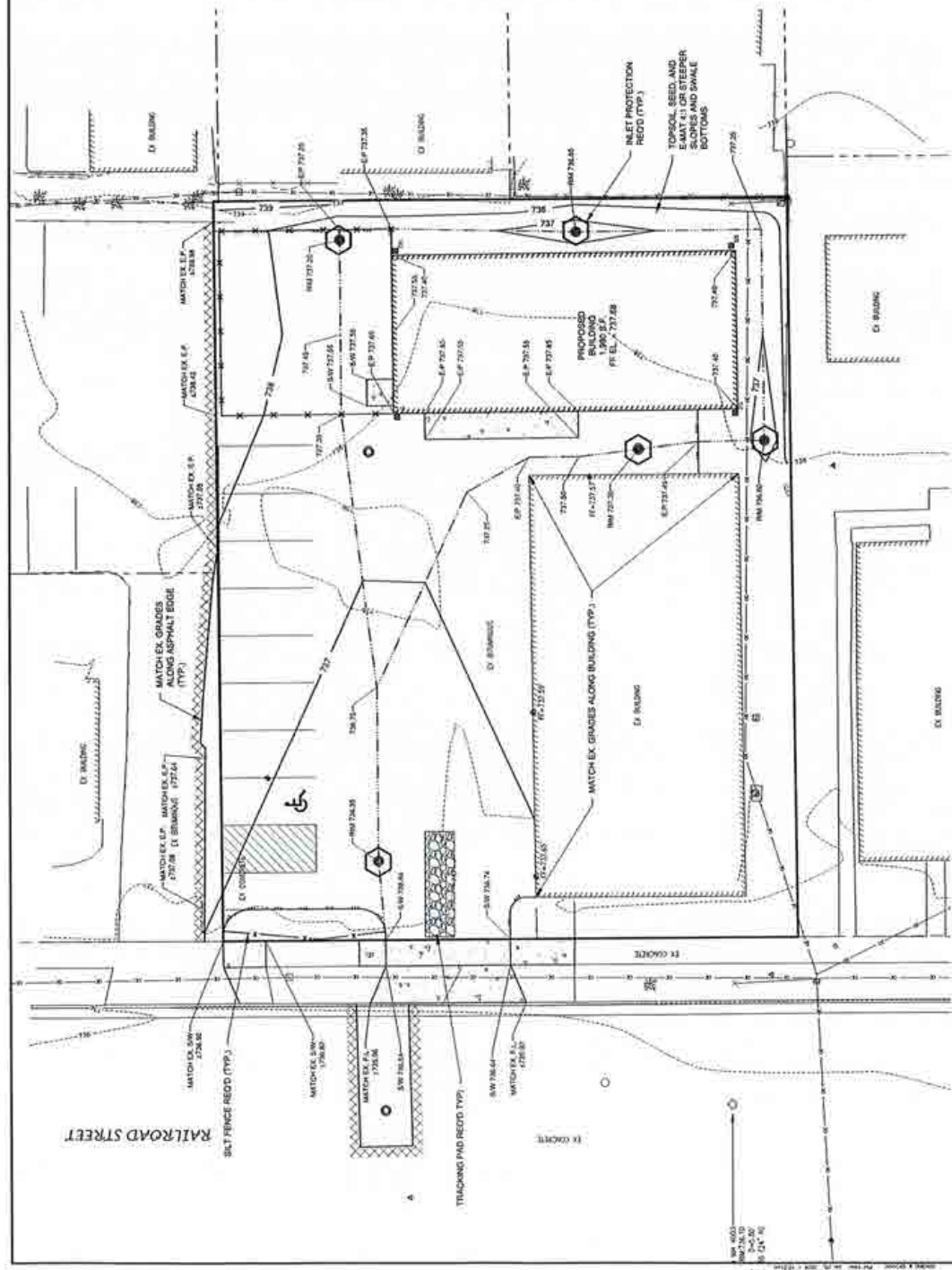
LEGEND

- TC 998.09 TOP OF CURB ELEVATION
- FL 888.88 FLOW LINE ELEVATION
- SW 868.68 TOP OF SIDEWALK ELEVATION
- EP 555.55 EDGE OF PAVEMENT ELEVATION
- NW 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DITCH
- FLOW ARROW
- [Symbol] SILT FENCE (PER WDMR TECHNICAL STANDARD 1056)
- [Symbol] DITCH CHECK (PER WDMR TECHNICAL STANDARD 1052)
- [Symbol] TRUCKING PAD (PER WDMR TECHNICAL STANDARD 1057)
- [Symbol] EROSION MAT (PER WDMR TECHNICAL STANDARD 1053)
- [Symbol] INLET PROTECTION (PER WDMR TECHNICAL STANDARD 1060)

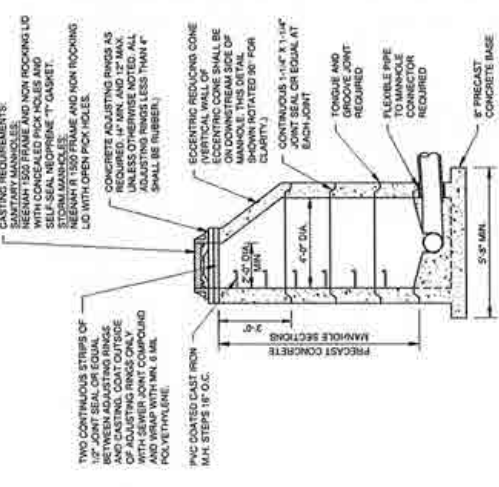
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL, DEPENDING ON THE CURRENT CONDITION OF THE SITE.

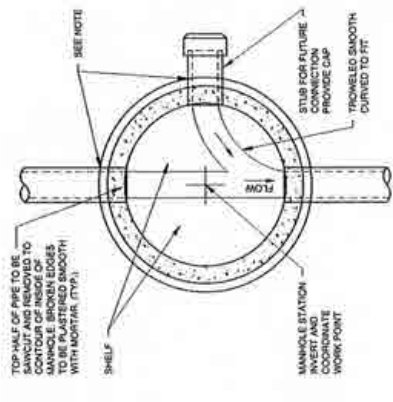
1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY ADDRESS/EGRESS LOCATION WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DOWNSLOPING SHALL BE PERFORMED IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1061.



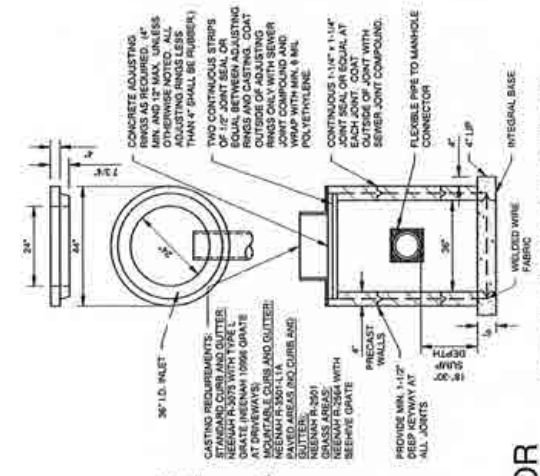
NO.	DATE	APPROV.	PERSON	REVISION	REASON	DRAWN	CHECKED	DESIGNED	BY	
BOB'S QUALITY HEATING EXPANSION FOR FOX CITIES BUILDERS VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN										
GRADING AND EROSION CONTROL PLAN										
1300 Commercial Center Blvd. Madison, WI 1.608.482.8448 info@arel.com										
SHEET NO.										4



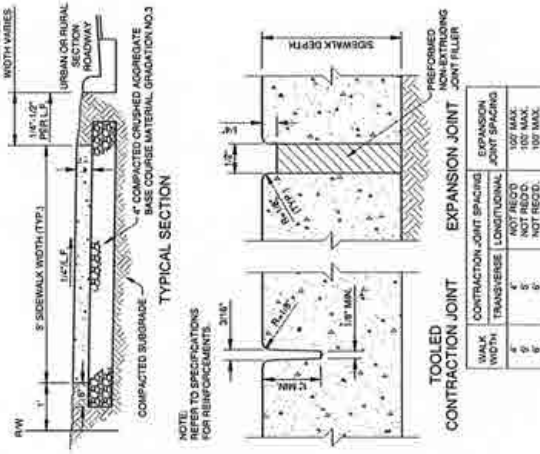
**SANITARY AND STORM STANDARD MANHOLE
8'-24" (INCLUSIVE)**



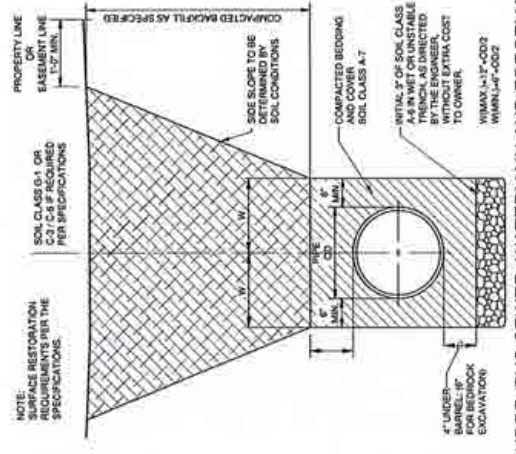
**MANHOLE BASE PLAN
8'-60" (INCLUSIVE)**



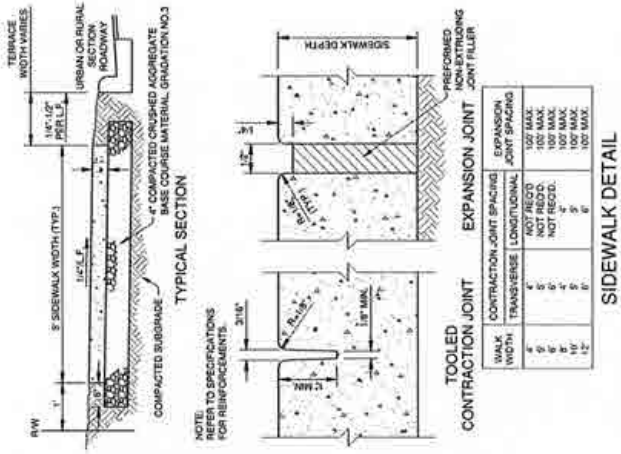
TYPE 'A' STORM INLET



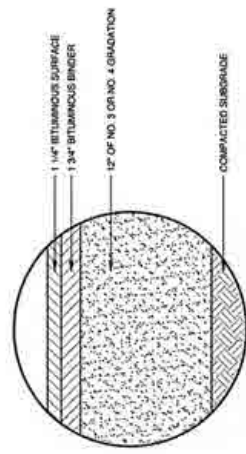
TYPE 'A' STORM INLET



**HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN
BEDDING AND TRENCH DETAIL**



SIDEWALK DETAIL



LIGHT DUTY ASPHALT PAVEMENT

NO.	DATE	APP'D	BY	DATE	APP'D	BY	REVISION	ISSUED	DATE	BY

BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

SHEET NO. 5

REEL Robert E. Lee
ENGINEERING & ARCHITECTURE, LLC
1035 Commercial Center Blvd. | Hudson, WI | (920) 462-9443 | info@reel.com

INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WOOD TECHNICAL STANDARD 1980, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WOOD PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL MUST BE REMOVED FROM THE STRUCTURE AND ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL MUST BE REMOVED FROM THE STRUCTURE AND ANY MATERIAL FALLING INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 2" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLES OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS WITH DOWN SPURS AT THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 2" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE FABRIC OF 2" AND A MINIMUM END CLEARANCE BETWEEN HOLES OF 2". WHERE NECESSARY, CATCH THE BAG USING PLASTIC ZIP TIES. TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MINIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

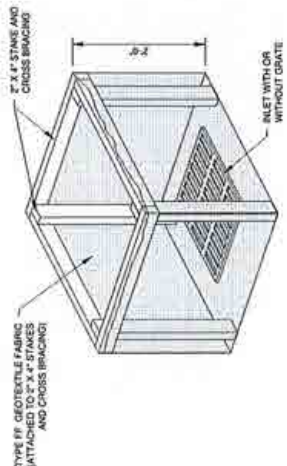
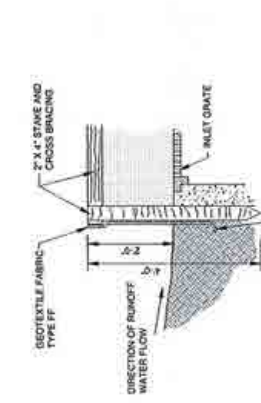
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERTLOW OPENINGS TO THE STRUCTURE WALL.

2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.

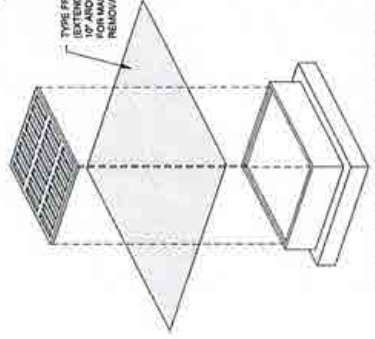
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.

4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL SPIRE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

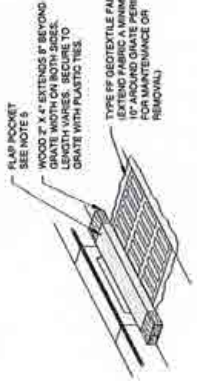


INLET PROTECTION, TYPE A

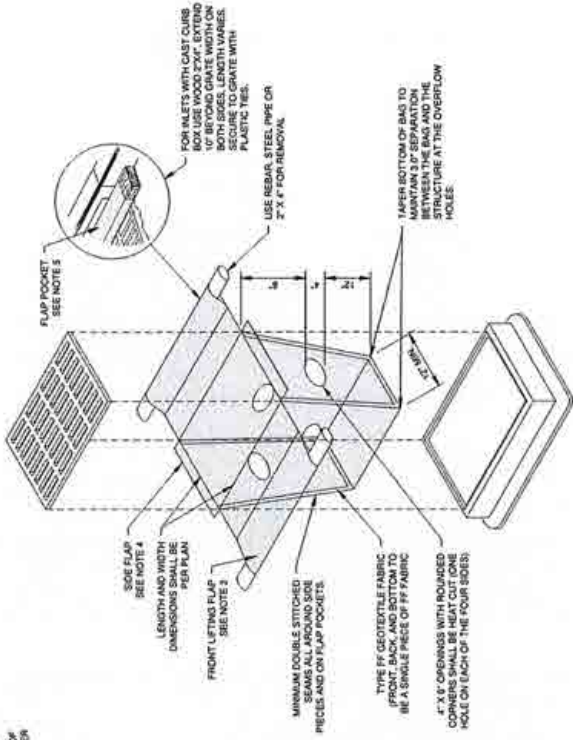


INLET PROTECTION, TYPE B (WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

DATE	ISSUE	NO.	REV.	DATE	ISSUE	NO.	REV.
BOB'S QUALITY HEATING EXPANSION FOR FOX CITIES BUILDERS VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN				EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D			
DRAWN BY: [Blank]				SCALE: [Blank]			
CHECKED BY: [Blank]				DATE: [Blank]			
DESIGNED BY: [Blank]				PROJECT NO.: [Blank]			
PROJECT NO.: [Blank]				SHEET NO.: [Blank]			
SHEET NO.: [Blank]				SHEET TOTAL: [Blank]			
 MREI Robert E. Lee & Associates, Inc. 1332 Commercial Center Blvd Madison, WI 608-443-9441 mrei.com							

NOTES:

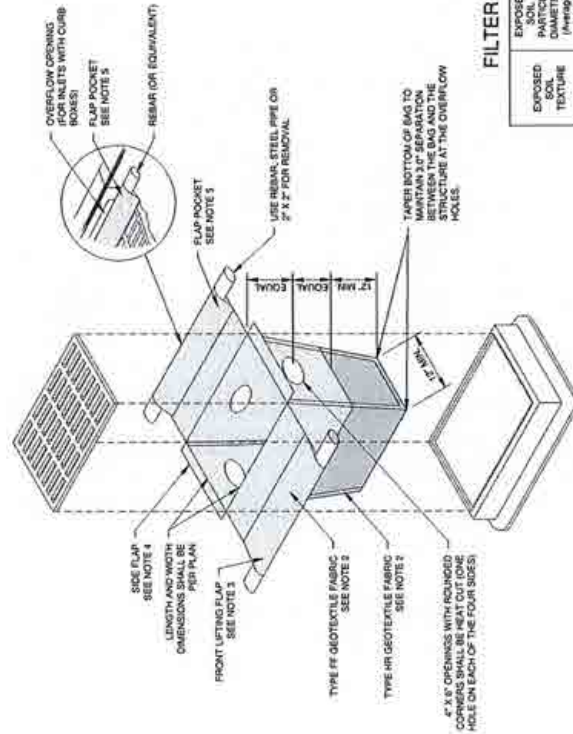
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

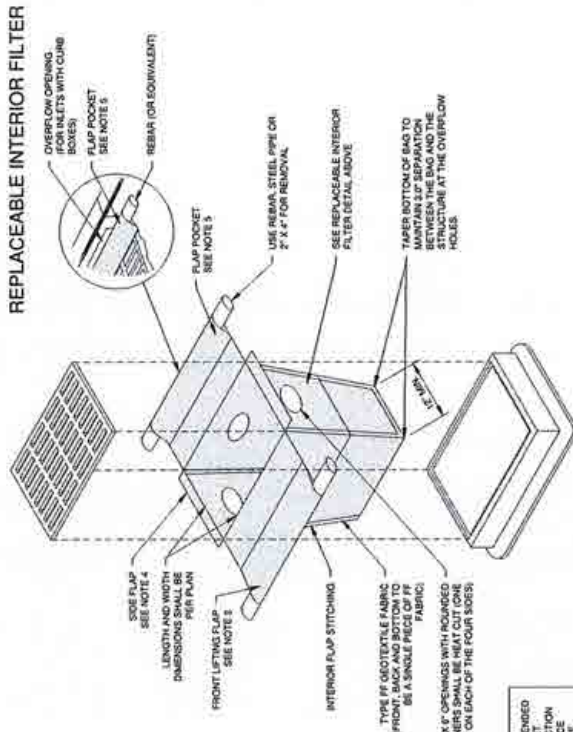
NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



INLET PROTECTION, TYPE D-M

(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



INLET PROTECTION, TYPE D-M

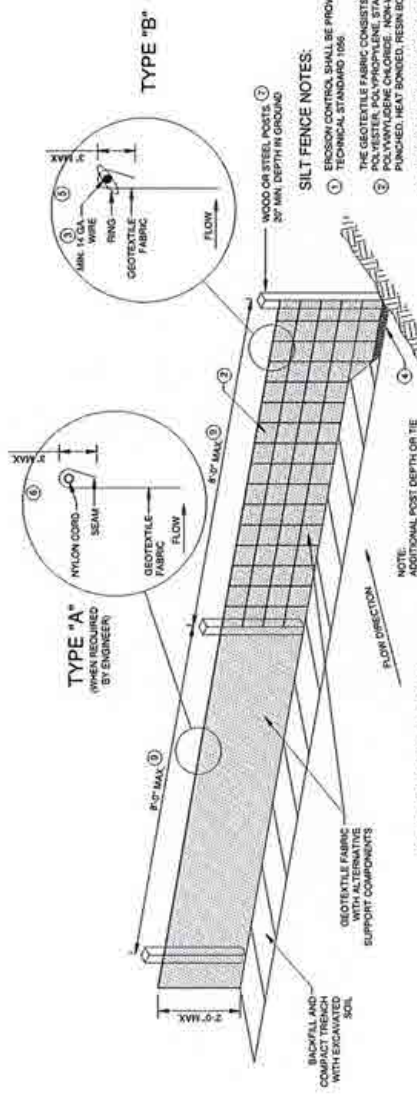
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

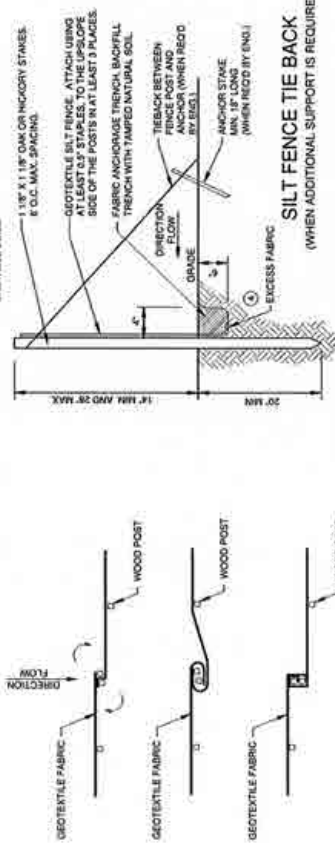
EXPOSED SOIL PARTICLE SIZE (mm)	RECOMMENDED FILTER FABRIC TYPE*	RECOMMENDED PROTECTION DEVICE TYPE
COARSE (SAND)	FF	D, D-M
MEDIUM (SILT)	DF	D, D-M
FINE (CLAY)	R	D-M
	HR	D-HR

* USE FF ON HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF HOUR TECHNICAL STANDARD 136F.



SILT FENCE DETAIL



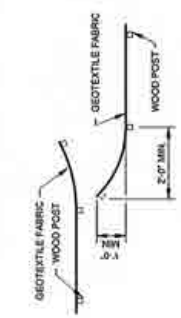
SILT FENCE NOTES:

1. EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WMAA TECHNICAL STANDARD 105.
2. THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYPROPYLENE, PUNCHED, HEAT BONDED, OR COMBINATION THEREOF.
3. MINIMUM 1/4\"/>
- 4. EXCAVATE A TRENCH A MINIMUM OF 4\"/>
- 5. WIRE SUPPORT FENCE SHALL BE 14 GAUGE MEDIUM WOVEN WIRE WITH A MINIMUM OF 1\"/>
- 6. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL GRADE, A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- 7. STEEL POSTS SHALL BE 5\"/>
- 8. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE. BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE END POST AND TWIST, OR ROTATE AT LEAST 90 DEGREES. NO HOOK METHOD - HOOK THE END OF EACH SILT FENCE LENGTH.
- 9. THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NONWOVEN FABRIC 3 FEET.

EROSION CONTROL SHEET FLOW NOTES:

1. ALL UNACCEPTABLE RUNOFF REMAINING ON HOME TINY DAVIS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4\"/>
- 3. ALL WASTE AND UNUSED BUILDING MATERIALS INCLUDING DUMPAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY FLOOD OR WIND.
- 4. ALL OFF-SITE SEDIMENT REPORTS OCCURRING AS A RESULT OF CONSTRUCTION WORK ON A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLOODING SHALL NOT BE ALLOWED.
- 5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND ON THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINE, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- 7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH FULL VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WMAA.
- 8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
- 9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WMAA CONSERVATION PRACTICE STANDARDS LATEST EDITION.
- 10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- 11. EXCESS SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMPERMEABLE SURFACES.
- 12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5\"/>

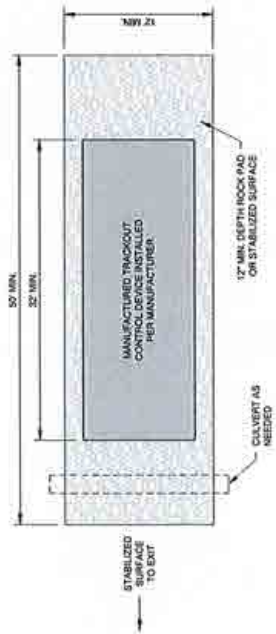
TWIST METHOD



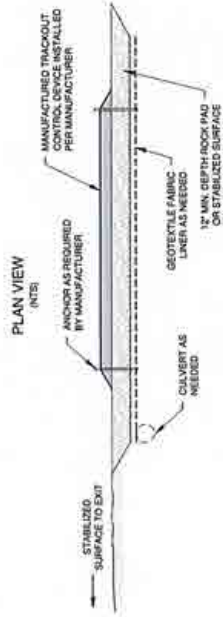
HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE

* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WORK TECHNICAL STANDARD 1031



PLAN VIEW (N.T.S.)

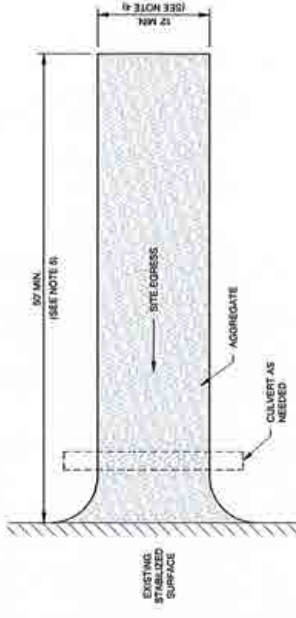


SECTION VIEW

NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COME UP WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKOUT PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURER'S TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH ACCORDATE WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXISTING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW (N.T.S.)



SECTION VIEW

NOTES:

1. USE HARD DURABLE ANGULAR STONE OR RECYCLED CONCRETE MEETING THE FOLLOWING GRADATION:

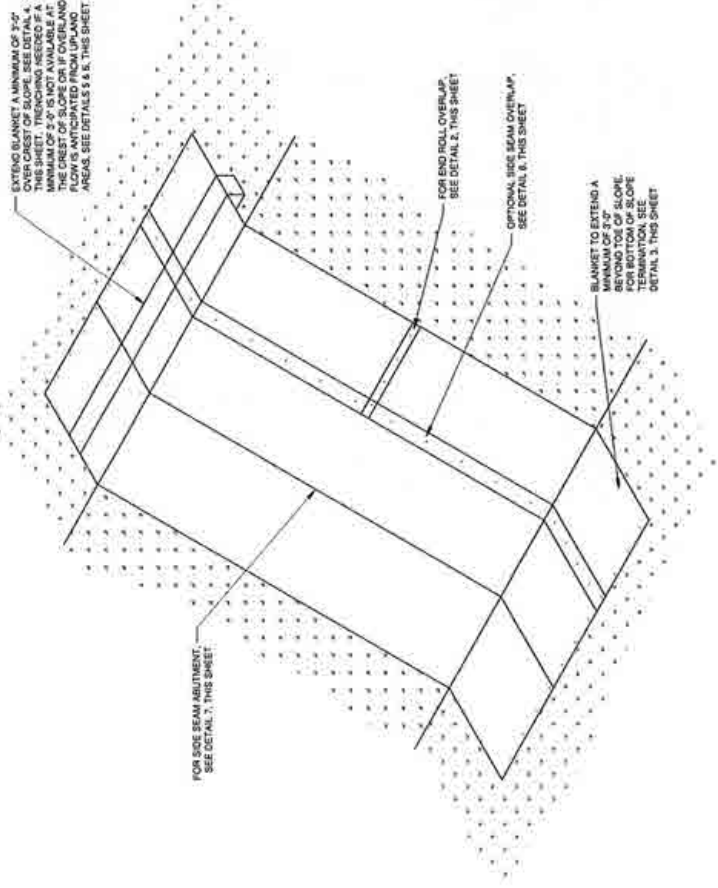
SIZE	PERCENT BY WEIGHT PASSING
3/4"	95-100
1 1/2"	75-90
2 1/4"	5-25
3/8"	1-5
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 97' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

NO.	DATE	APPROVED	NO.	DATE	APPROVED	NO.	DATE	APPROVED

BOB'S QUALITY HEATING EXPANSION FOR:
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

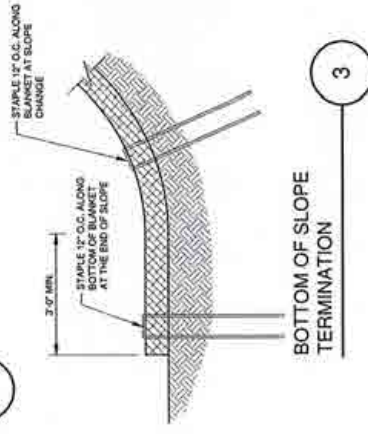
EROSION CONTROL
TRACKOUT CONTROL PRACTICES



1
SLOPE DETAIL



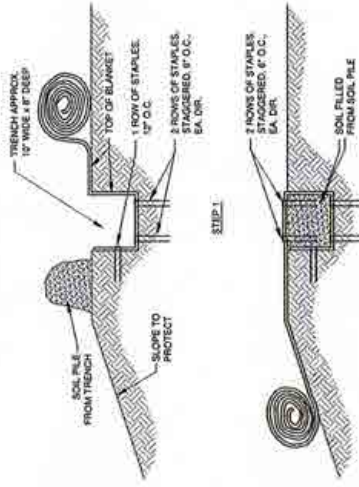
2
END ROLL OVERLAP



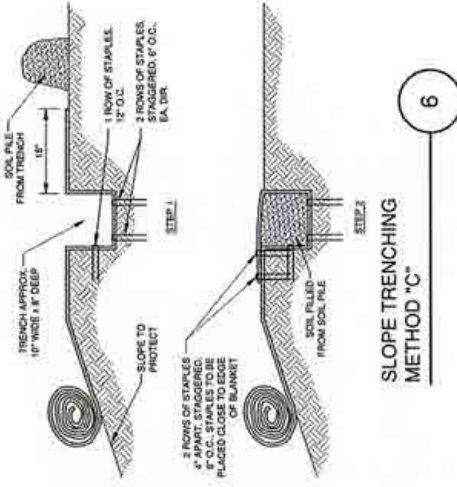
3
BOTTOM OF SLOPE
TERMINATION



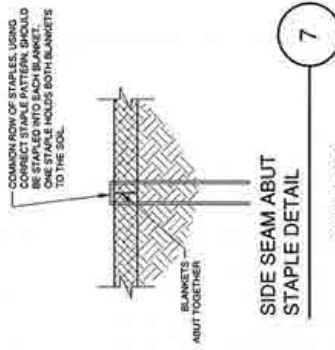
4
SLOPE CREST ANCHOR
METHOD "A" (NO TRENCH)



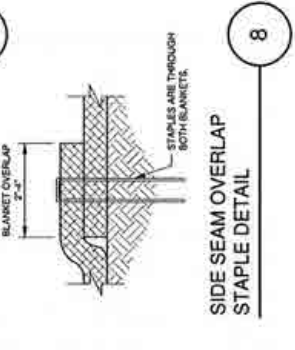
5
SLOPE TRENCHING
METHOD "B"



6
SLOPE TRENCHING
METHOD "C"



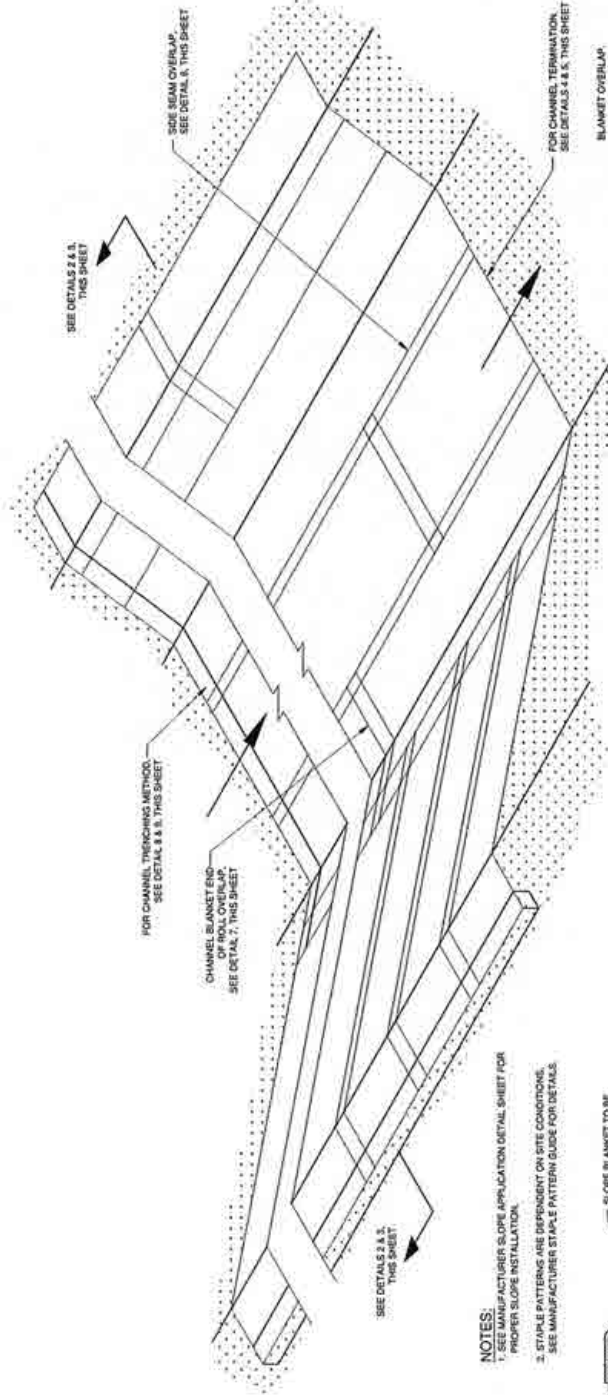
7
SIDE SEAM ABUT
STAPLE DETAIL



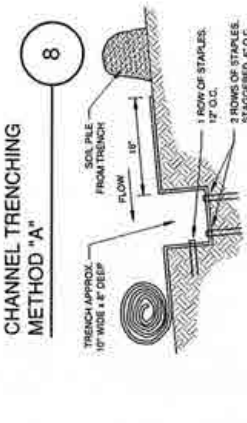
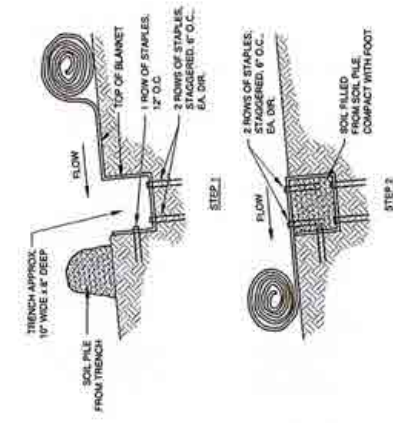
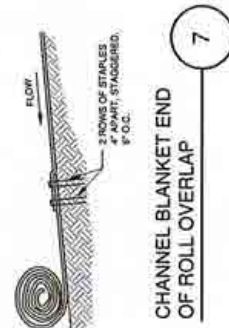
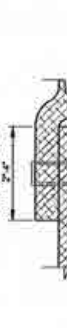
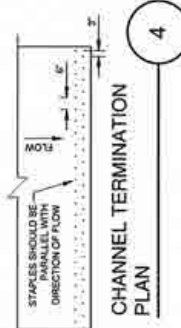
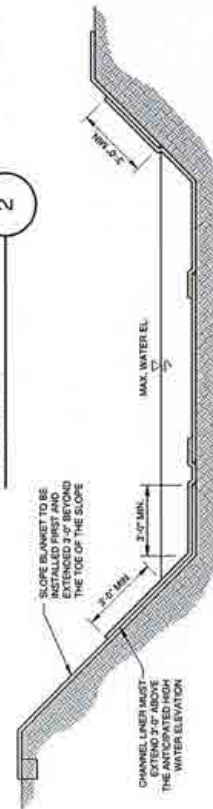
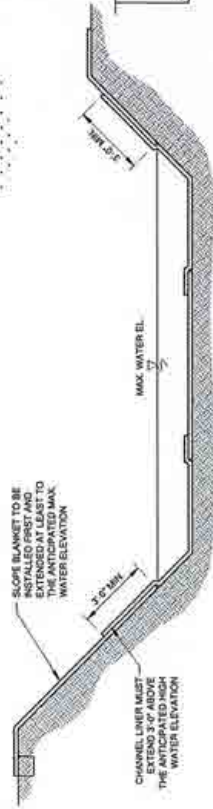
8
SIDE SEAM OVERLAP
STAPLE DETAIL

NOTES:
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS.
SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.

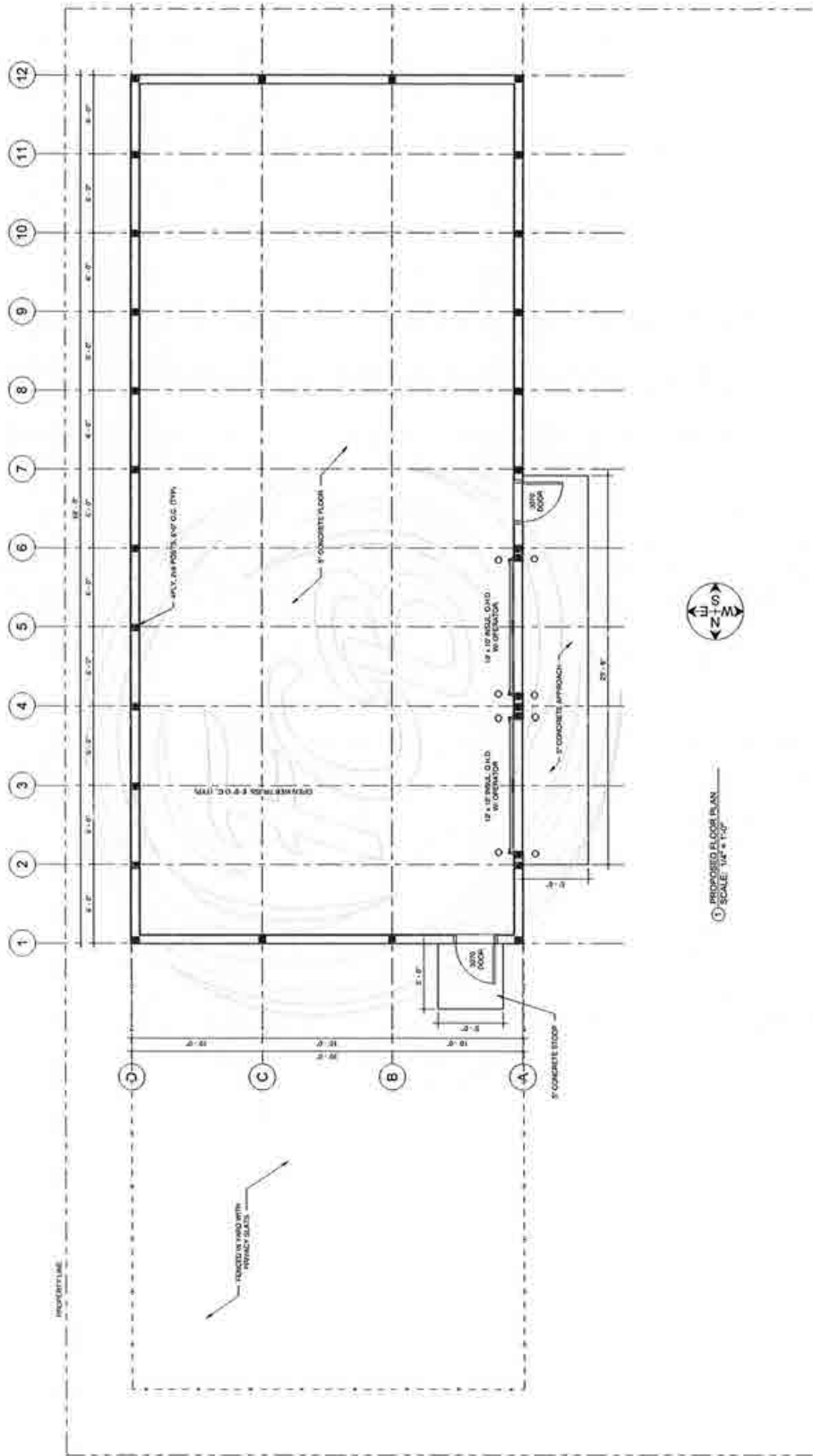
DATE	REVISION	BY	DATE	REVISION	BY	DATE	REVISION	BY
BOB'S QUALITY HEATING EXPANSION FOR FOX CITIES BUILDERS VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN								
EROSION CONTROL EROSION MAT SLOPE APPLICATION DETAILS								
SHEET NO. 10 TOTAL SHEETS 10 DRAWN BY: [blank] CHECKED BY: [blank] DATE: [blank]								
AREL Robert E. Lee L380 Columbia Center Blvd Hobart, WI 920-823-8444 www.arel.com								



NOTES:
 1. SEE MANUFACTURER SLOPE APPLICATION DETAIL SHEET FOR PROPER SLOPE INSTALLATION.
 2. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



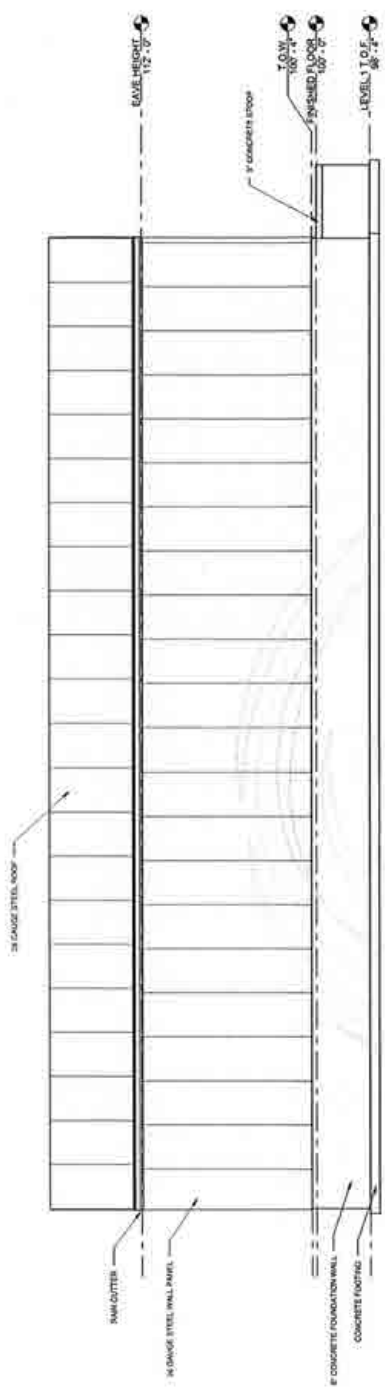
NO.	DATE	APP'D.	NO.	DATE	APP'D.	REVISION	NO.	DATE	APP'D.	REVISION	NO.	DATE	APP'D.	REVISION	
BOB'S QUALITY HEATING EXPANSION FOR FOX CITIES BUILDERS VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN												EROSION CONTROL EROSION MAT CHANNEL APPLICATION DETAILS		 1280 Commercial Center Blvd Mukwonago, WI 708-462-9447 info@mrel.com	
SHEET #11															



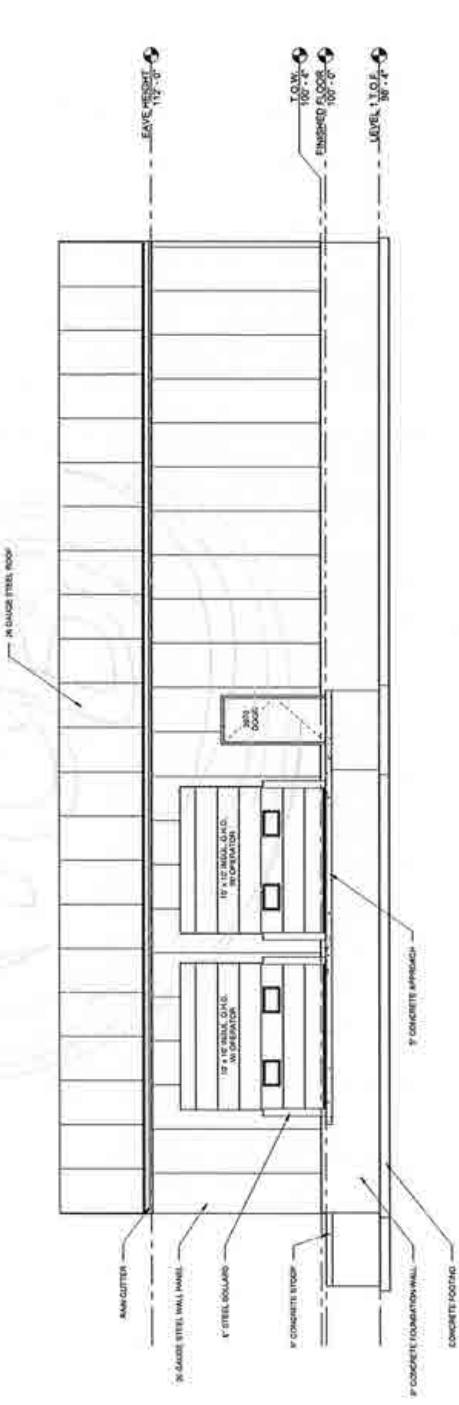
1/4" = 1'-0"
 UNLESS OTHERWISE NOTED

COPYRIGHT
 THESE PLANS ARE AN
 INSTRUMENT OF SERVICE
 AND ARE THE PROPERTY
 OF THE ARCHITECT.
 NO PART OF THESE
 PLANS IS TO BE
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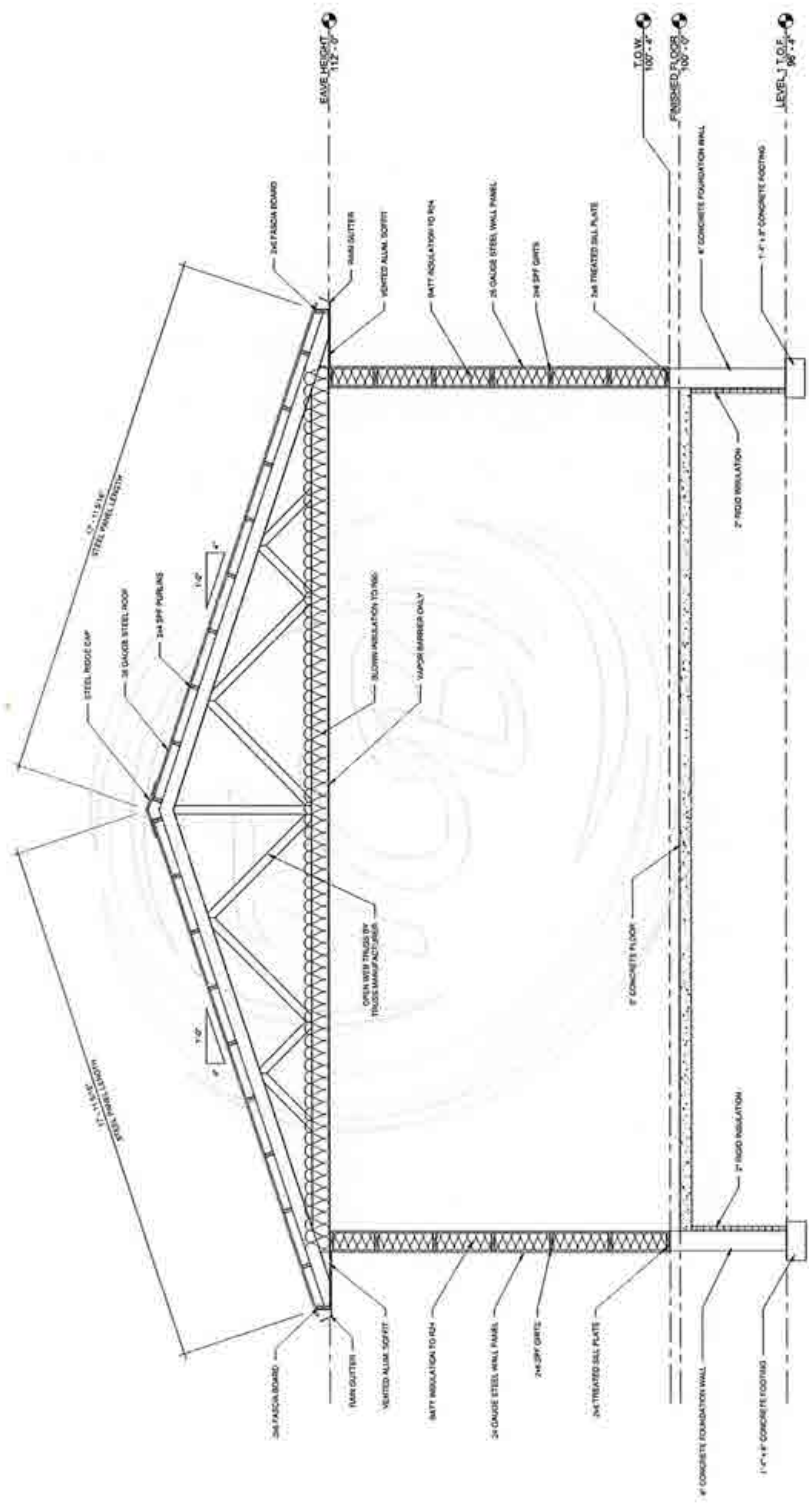
PRELIMINARY
 PLAN SET - NOT
 FOR CONSTRUCTION



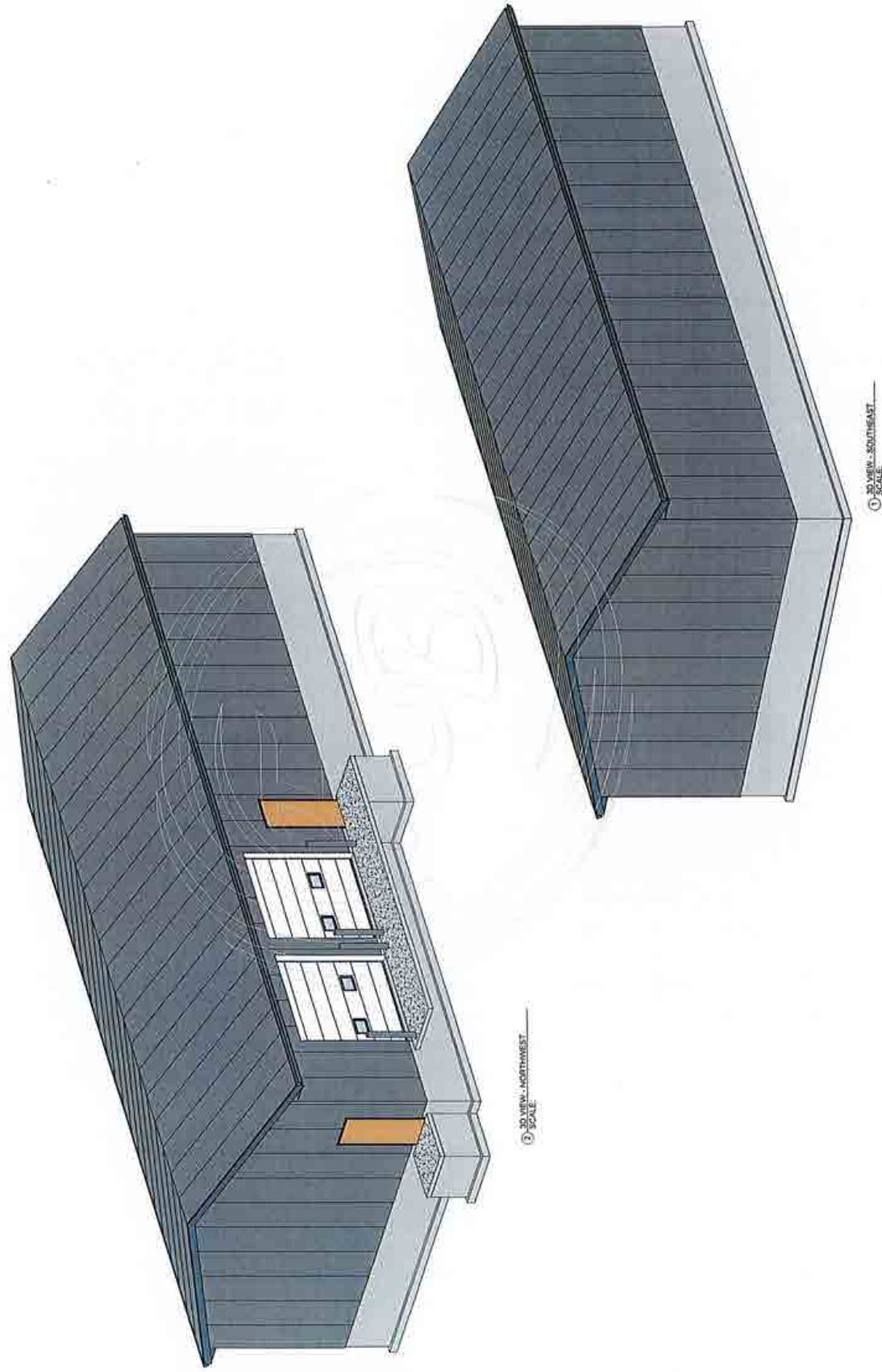
① EXTERIOR BUILDING ELEVATION - EAST
SCALE: 1/4" = 1'-0"



② EXTERIOR BUILDING ELEVATION - WEST
SCALE: 1/4" = 1'-0"



Section 1
 SCALE: 1/2" = 1'-0"



3D VIEW - NORTHWEST
SCALE

3D VIEW - SOUTHEAST
SCALE



**Village of Kimberly
Request for
Planning Commission Recommendation**

ITEM DESCRIPTION: Village of Kimberly Street/Parks Facility Site Review
REPORT PREPARED BY: Greg Ulman
REPORT DATE: 1/16/24
EXPLANATION: On February 13 th , 2022, the Village of Kimberly in conjunction with SEH conducted a facilities analysis to determine the need for a new street/parks facility. It was determined during this analysis that the Village facility was outdated, lacking current safety standards, and inadequate storage needs for equipment. It was determined that the current street/parks facility be torn down and a new building be erected on the same lot. On October 13 th , 2022, the Village of Kimberly sent out requests for proposals to various engineering/architecture firms to help with the design of a new streets/parks facility. SEH was awarded the contract in designing a new facility. Throughout the past year the Village and SEH has been following all local and state codes in all aspects of the design a few high-level highlights are: <ul style="list-style-type: none">• The new building has a 10-foot setback off the property lines.• Exterior light fixtures photometrics don't spill onto the adjacent properties.• The Village Board directive of reduced landscape has pleased Metro Police with greater line of sight around the building, increasing safety for adjacent properties.• Stormwater will go directly to an offsite stormwater pond.
The plan for the Village and SEH is to send the plans out to bid in mid-February and open the bids in mid-March. The Village Board has been instrumental in this process with recommendations and feedback, they will ultimately approve or deny the bids once received.
RECOMMENDED ACTION: Approve current plans provided by SEH.
ATTACHMENTS: Plans provided by SEH



Building a Better World
for All of Us®

MEMORANDUM

TO: Maggie Mahoney- Administrator
Greg Ulman- Operations Manager

FROM: Trevor M. Frank, AIA

DATE: January 2, 2024

RE: Site Plan Review Narrative
SEH No. 171196

This memo is in response to the request to provide a written narrative to the requirements for site plan review by the Village of Kimberly.

Site Plan Review Narrative

The existing use of the property as it operates today is the current location of the village of Kimberly's Street and Parks Department offices, municipal yard and general shop location.

The proposed use of site will be the same village function operating in a consistent manner to the current operations on the site.

Effects on adjoining properties will not change. There will be the appropriate setbacks from the adjoining properties as required by village code. These areas will also include fencing and landscaping so as to conceal the operations from sight by adjoining properties.

The hours of operation will not change. These Hours are typically 7:00 AM to 3:30 PM as core hours. These hours fluctuate depending on the time of year and the types of response events village staff need to respond to. (ie. Severe weather events, snow events, etc.)

The operations typically do not contribute to excessive noise, odors or fumes. The operation is relatively self-contained to the site and is typically not considered an intrusive operation to the neighboring residents.

The compatibility of the use with adjacent properties in the area will not change with the expansion of the operation. Since there are currently no compatibility issues that have been expressed by the neighboring properties it can be assumed the new operation will not create any compatibility issues going forward.

Traffic generation will not increase or decrease with the proposed use. Staff vehicle numbers will not fluctuate greatly except at seasonal times of the year. There are an adequate number of parking stalls to accommodate all staff on site.

Traffic Generated by street department response vehicles (Snow plows, street sweepers, maintenance vehicles, mowers etc.) will not increase. Access to the site and internal site traffic patterns will not change greatly other than travel distance into the vehicle storage building will be decreased from the entrance off James Street. The primary ingress location will be from James Street from an East to West direction. Egress from the site will be from the north onto Maes Avenue.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 425 West Water Street, Suite 300, Appleton, WI 54911-6058

920.380.2800 | 888.413.4214 | 888.908.8166 fax | sehinc.com

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Value engineering and its impact on the site development:

As a means of cutting the overall project cost, the consultant team was asked to determine options for value engineering out some of the construction cost. The following items were eliminated from the site plan and will have an impact on the overall functionality and aesthetic of the building.

The proposed Plaza pavement and site amenities (flag pole, benches, drinking fountain, bike repair station) were eliminated from the landscape architecture plans.

All of the Proposed landscaping including concrete bed edging, mulched beds, and landscape plant material was eliminated from the landscape architecture plans. The entire landscaped areas of the site will receive manicured lawn. The landscape plans accompanying this submittal reflect the revised landscape and planting plans.

It is the intent of the Village to add the landscape plant materials and amenities at a later date. The original landscape plans were preserved and will be submitted to the village for use in their future landscape development and installation by village staff.

Concrete pavement in areas adjacent to overhead doors was reduced in size and replaced with asphalt.

The omitted concrete pavement areas will be installed at a later date likely upon failure of the asphalt pavement in front of the overhead doors.

No other aesthetic impacts were made to the facility for the design of the building that would be noteworthy for the site plan review process.



VILLAGE OF KIMBERLY
Site Review Application

Submit to:
Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Trevor M. Frank Date: 1/16/23
Petitioner Address: 425 W. Water Street City: Appleton State: WI Zip: 54911
Telephone #: (920) 380-2800 Fax: email: tfrank@sehinc.com
Status of Petitioner (please check one): Owner [X] Representative Tenant Prospective Buyer

Handwritten signature of Trevor M. Frank

Petitioner's Signature (required):

Owner Information

Owner(s): Village of Kimberly Date: 10/22/23
Owner(s) Address: 515 W. Kimberly Avenue City: Kimberly State: WI Zip: 54136
Telephone #: (920) 788-7500 Fax: email: mmahoney@vokimberlywi.gov
Ownership Status (please check one): [X] Municipality Trust Partnership Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: Date:

Site Information

Address/Location of Proposed Project: 426 W. Kimberly Avenue Zoning: I2

Proposed Project or Use: Street and Parks Department Office and Shop Facility

Current or last Use of Property: Street and Parks Department Office and Shop Facility

Land Uses Surrounding this Address:
North: Residential (R3)
South: Commercial (B1)
East: Residential (R3) and Commercial (B1)
West: Commercial (B1)

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
Application Fees must be submitted with the application.

Submittal Requirements – Must accompany the application to be complete.

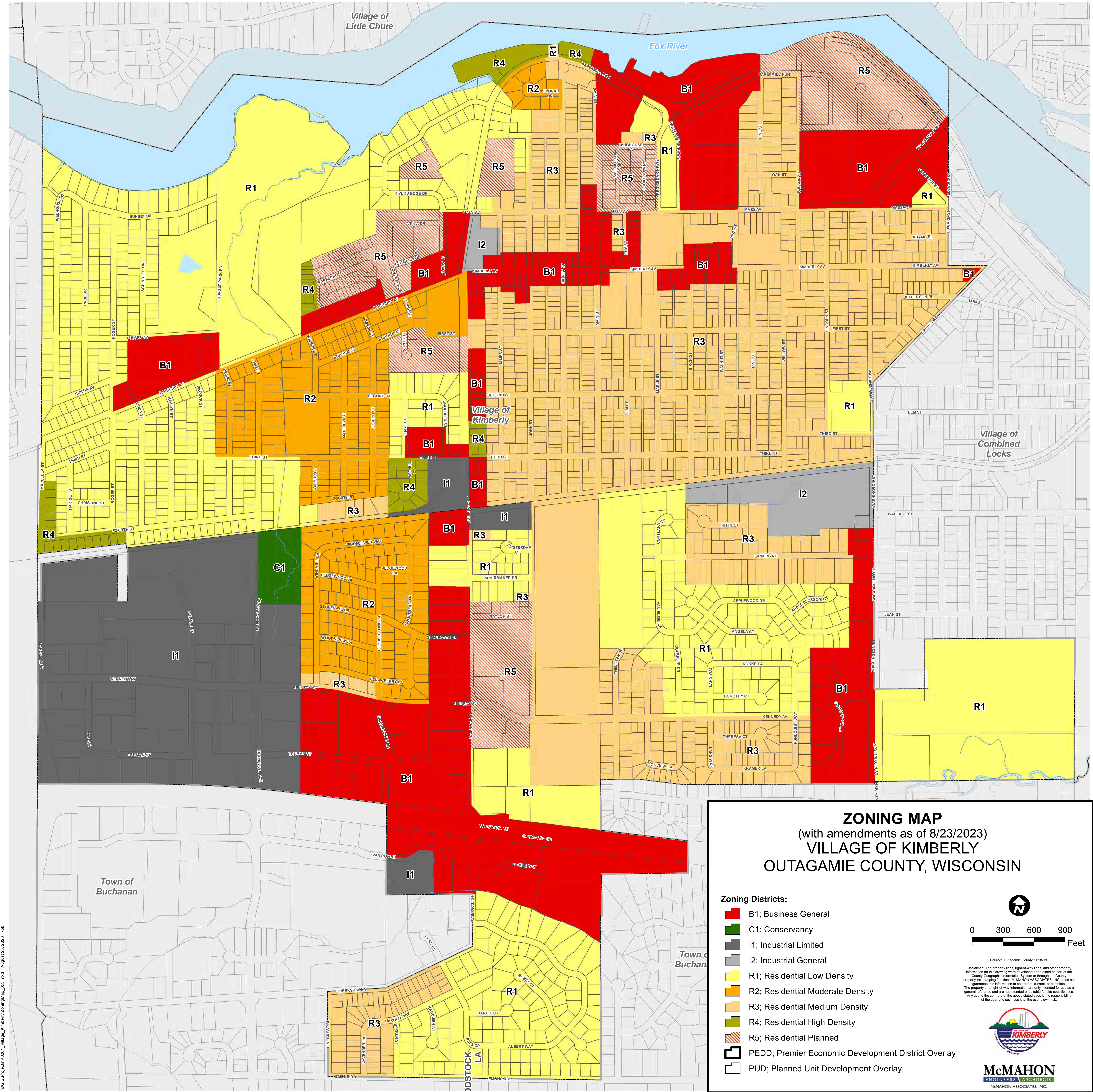
- A narrative of the proposed building or addition including:
 - Proposed use of the property
 - Existing use of the property
 - Effects on adjoining properties to include: noise, hours of operation, glare, odor, fumes, vibration, etc.
 - Compatibility of the proposed use with adjacent and other properties in the area.
 - Traffic generation
 - Any other information pertinent to adequate understanding of the intended use and its relation to nearby properties
- Complete site plans including:
 - Two (2) legible scaled and dimensioned drawings/prints of site plan and building elevations (when applicable.)
 - Two (2) 8 ½" x 11 (minimum) to 11" x 17" (maximum) reduction of the site plan and building elevations (when applicable.)
 - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, walls.
 - Location of all outdoor storage and refuse disposal areas and the design and materials used for construction
 - Location and dimension of all on-site parking (and off-site parking provisions if they are to be employed
 - Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan.
 - Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generators.

Site Plan Review Checklist

Project:

Category	Item	Plan Element, Information	Location, Plan, Sheets(PS) or Map	Comments
Civil Plans	1	Name of project/development;	Plan Sheets	
	2	Location of project/development by street address, or CSM	Plan Sheets G001	
	3	Name and mailing address of developer/owner;	Plan Sheets G001	
	4	Name and mailing address of engineer/architect;	Application & Plan Sheets G001	
	5	North point indicator;	Plan Sheets	
	6	Scale;	Plan Sheets	
	7	Boundary lines of property, with dimensions;	Plan Sheets C 200	
	8	Location identification, and dimensions of existing and proposed:	Dimension existing?	
		a. Topographic contours at a minimum interval of two feet, and key spot elevations;	Plan Sheets C 300	
		b. Adjacent streets and street right of ways, respective to the elevation of building first floor;	Plan Sheets C200	
		c. On site streets and street right of ways, and fire lanes;	N/A	
		d. Utilities and any easements.	Plan Sheets C 400	
		e. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet C 200	
		f. Public Utilities: The location of sanitary and storm sewer lines and water mains;	Plan Sheet C 400	
		g. Description of proposed system for drainage and a storm water plan showing existing and final grades.	Plan Sheet C 300	
	h. Water bodies and wetlands;	N/A		
	i. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet C 100, C 200		
	j. Parking facilities;	Plan Sheet C 200		

		k. Sidewalks, walkways, and driveways;	Plan Sheet C 200	
Civil Plans		l. Off street loading areas and docks;	Plan Sheet C 301	
		m. Fences and retaining walls;	Plan Sheet C 500	
		n. All signs;	On Building See Ext Rendering	
		o. Exterior refuse collection areas and the required enclosure(s);	Plan Sheet A 501	
		p. Exterior lighting;	Photometric Plan Sheet 1 of 1	
		q. Traffic flow on and off site.	Plan Sheet C 200	
		r. Location of open space/green space;	Plan Sheet C 200	
		s. Location and dimensions of proposed outdoor display areas;	N/A	
		t. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network	N/A	
		u. The location of recreational and open space areas;	N/A	
		v. Site statistics, including:		
		i. Sq. Footage	Plan Sheet C 200	104,824 s.f.
		ii. Percent site coverage;	Plan Sheet C 200	89.40%
		iii. Percent open space; and green space	Plan Sheet C 200	10.60%
		9	Erosion control plans;	Plan Sheet C 300
	10	Landscaping plan	Plan Sheet L 101 L 102	
Architectural Plans		Architectural Plans of the proposed structures and buildings, including:		
	11	a. Elevation and Floor Plans;	Plan Sheets A101, A102, A201	
		b. All dimensions;	Plan Sheets A101, A102, A201	
		c. Gross square footage of existing and proposed buildings and structures; and	Plan Sheets G010	
		d. Description of all exterior finish materials.	Plan Sheet A 201 and annotated material sheet	



Village of Little Chute

Fox River

Village of Kimberly

Village of Combined Locks

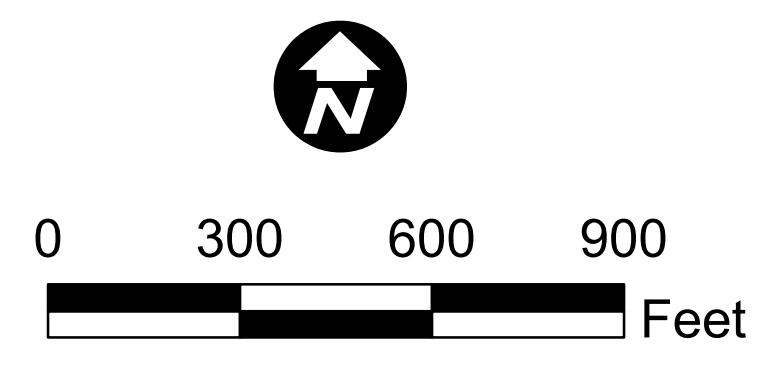
Town of Buchanan

Town of Buchanan

ZONING MAP

(with amendments as of 8/23/2023)
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

- Zoning Districts:**
- B1; Business General
 - C1; Conservancy
 - I1; Industrial Limited
 - I2; Industrial General
 - R1; Residential Low Density
 - R2; Residential Moderate Density
 - R3; Residential Medium Density
 - R4; Residential High Density
 - R5; Residential Planned
 - PEDD; Premier Economic Development District Overlay
 - PUD; Planned Unit Development Overlay



Source: Outagamie County, 2018-19.
 Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



McMAHON
 ENGINEERS ARCHITECTS
 McMAHON ASSOCIATES, INC.

F:\GIS\Projects\0001_Village_Kimberly\ZoningMap_3x3.mxd August 23, 2023 kpk



raSmith
100 West Lawrence Street, Suite 412
Appleton, WI 54911-5754
(920) 731-3499
rasmith.com

Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
426 W. Kimberly Avenue
Kimberly, WI 54136

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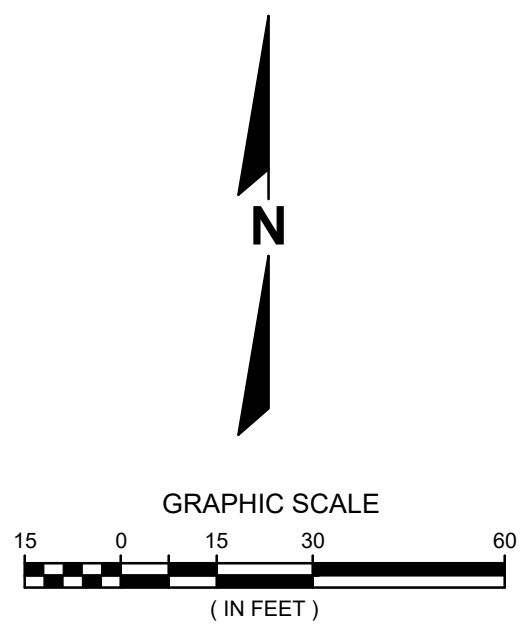
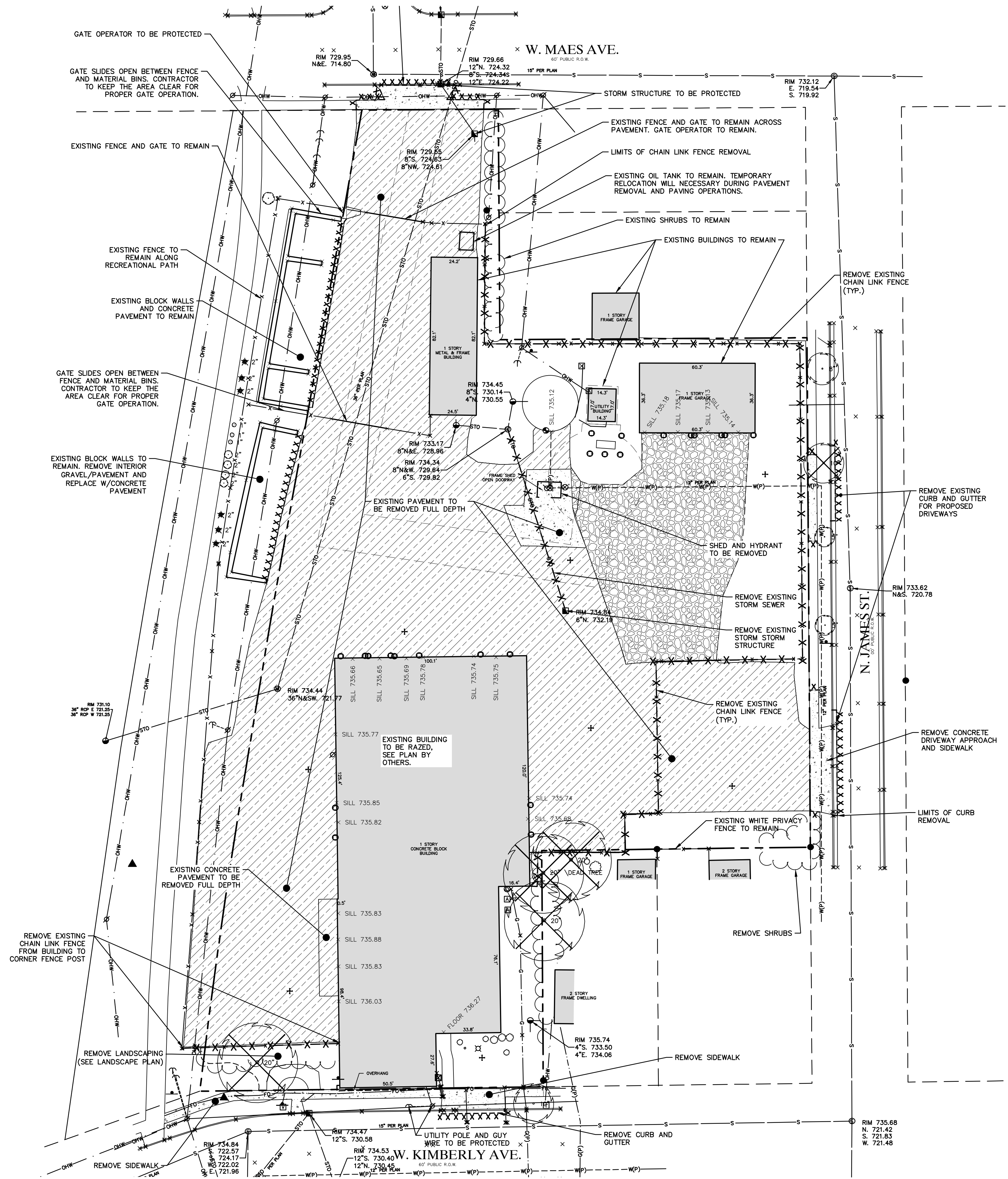
Project Status Issue Date

SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE
REV. # DESCRIPTION DATE

EXISTING CONDITIONS & DEMOLITION PLAN

C100



LEGEND

- TREE REMOVAL
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING PROPERTY LINE
- FULL DEPTH SAW CUT PAVEMENT



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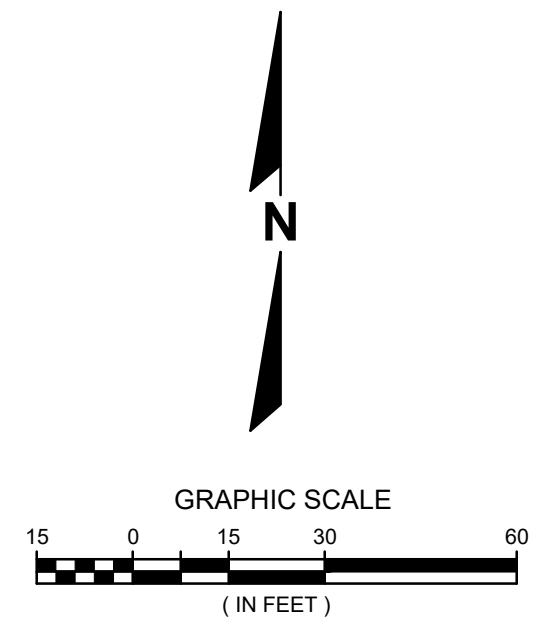
REVISION SCHEDULE
REV. # DESCRIPTION DATE

SITE PLAN

C200

NOTES:

- SEE STRUCTURAL PLANS FOR LOCATIONS AND DETAILS OF BOLLARDS.
- DIMENSIONS TO EDGE OF PAVEMENT.



SITE STATISTICS	
Square Footage	104,824 SF
Percent Site Coverage	89.40%
Percent Open/Green Space	10.60%

LEGEND	
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
	PROPOSED STONE MULCH
	PROPOSED TURF AREA
	INDICATES PROPOSED FENCE
	EXISTING PROPERTY LINE



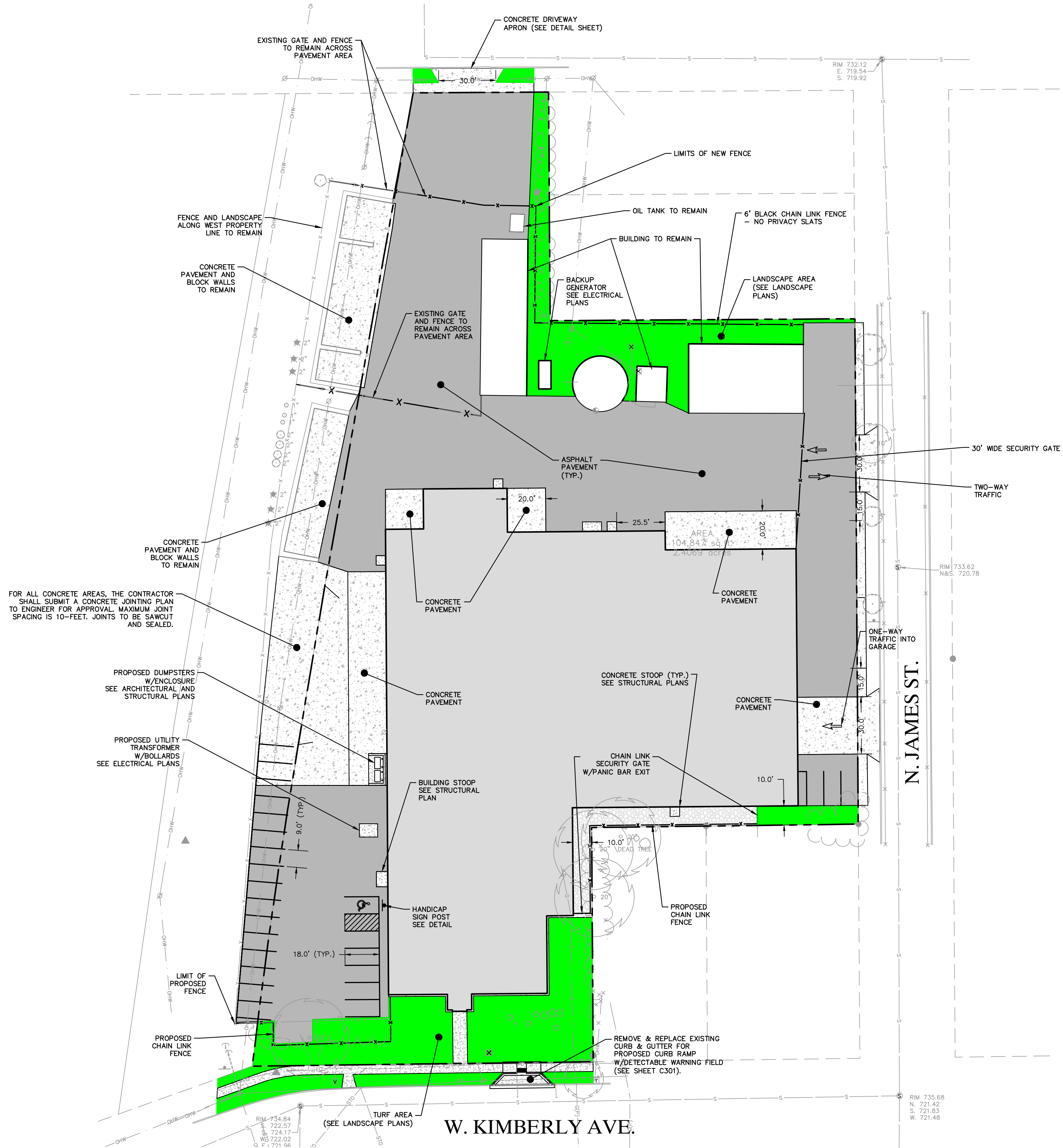
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FOR ALL CONCRETE AREAS, THE CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO ENGINEER FOR APPROVAL. MAXIMUM JOINT SPACING IS 10- FEET. JOINTS TO BE SAWCUT AND SEALED.

PROPOSED DUMPSTERS W/ENCLOSURE SEE ARCHITECTURAL AND STRUCTURAL PLANS

PROPOSED UTILITY TRANSFORMER W/BOLLARDS SEE ELECTRICAL PLANS

LIMIT OF PROPOSED FENCE

PROPOSED CHAIN LINK FENCE

TURF AREA (SEE LANDSCAPE PLANS)

W. KIMBERLY AVE.

N. JAMES ST.

RIM 735.68
N. 721.42
S. 721.83
W. 721.48

RIM 733.62
N&S. 720.78

RIM 732.12
E. 719.54
S. 719.92

RIM 734.84
S. 722.57
E. 724.17
W. 722.02
F. 721.88



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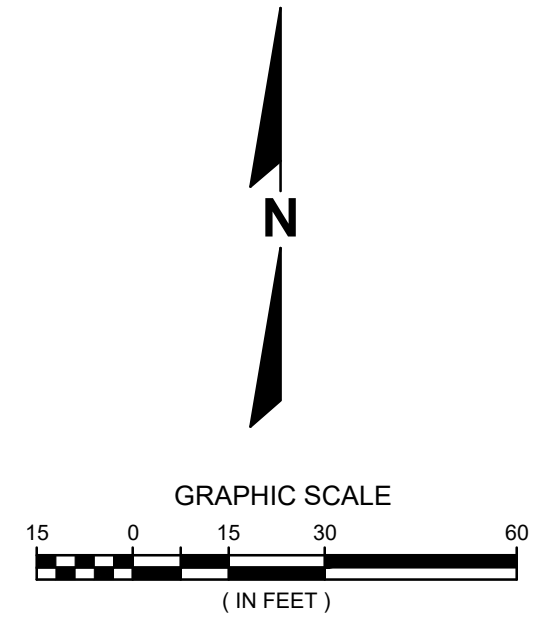
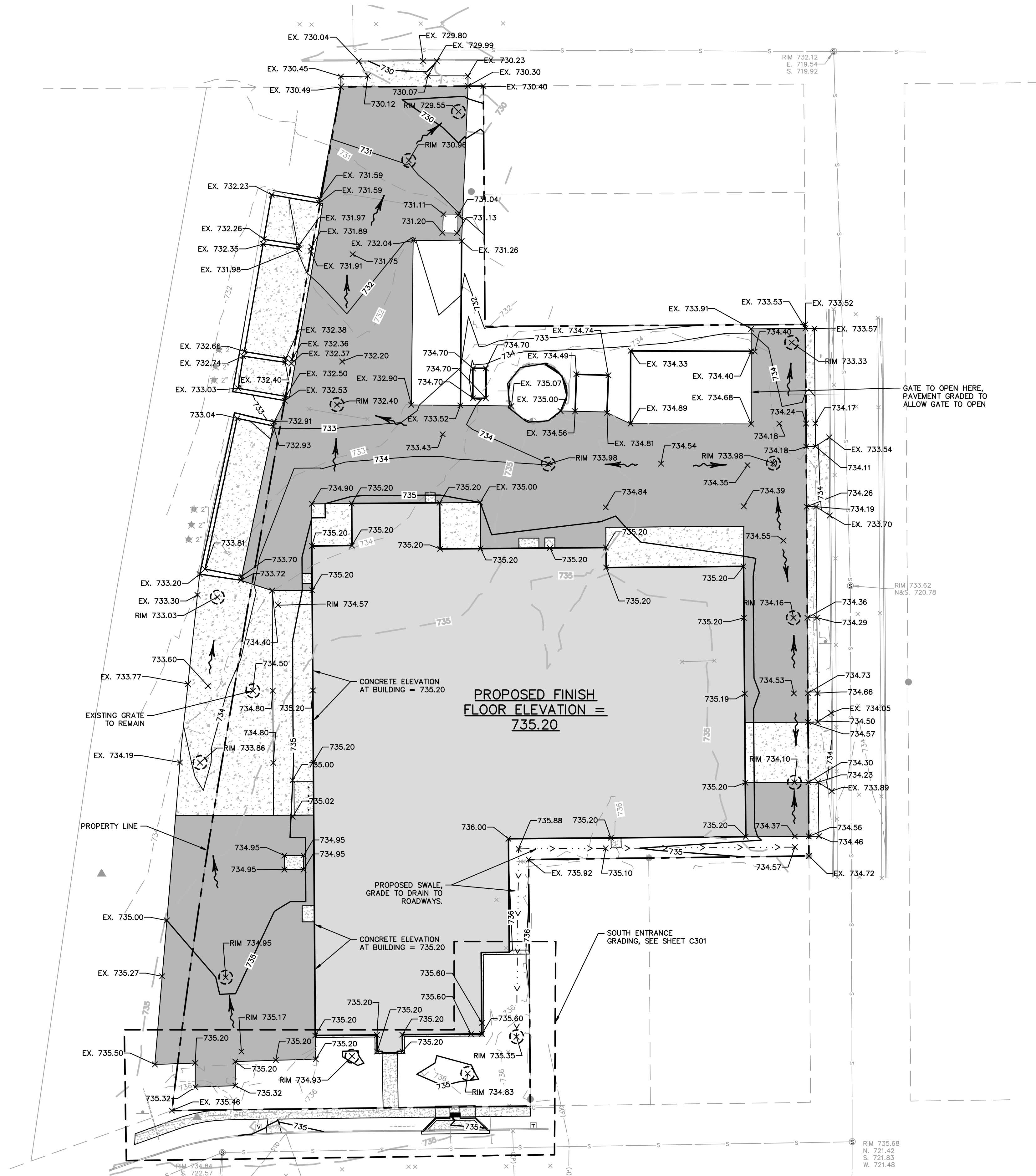
Project Status: Issue Date

SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE
REV. # DESCRIPTION DATE

GRADING & EROSION CONTROL PLAN

C300



LEGEND

- INDICATES EXISTING PROPERTY LINE
- ~ SURFACE WATER FLOW
- STORM DRAIN INLET PROTECTION (SEE DETAIL)
- 600 x 600.00 PROPOSED CONTOUR & SPOT GRADE
- 600 x 600.00 EXISTING CONTOUR & SPOT GRADE
- x EX. 600.00 EXISTING SPOT GRADE TO MATCH
- x 600.00 PROPOSED FINISHED PAVEMENT SPOT GRADE



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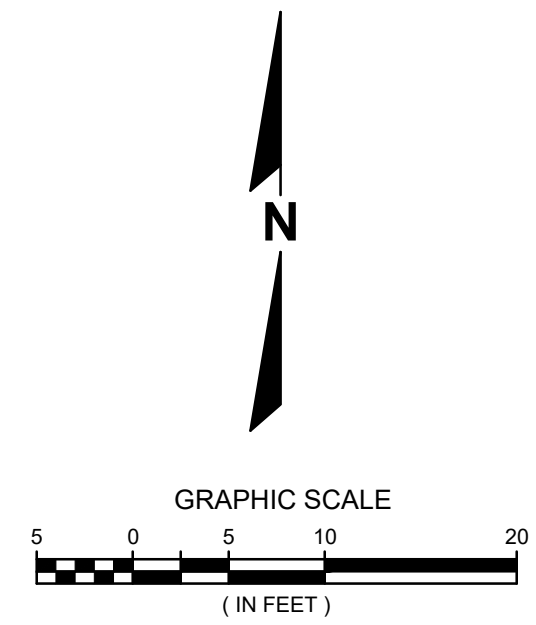
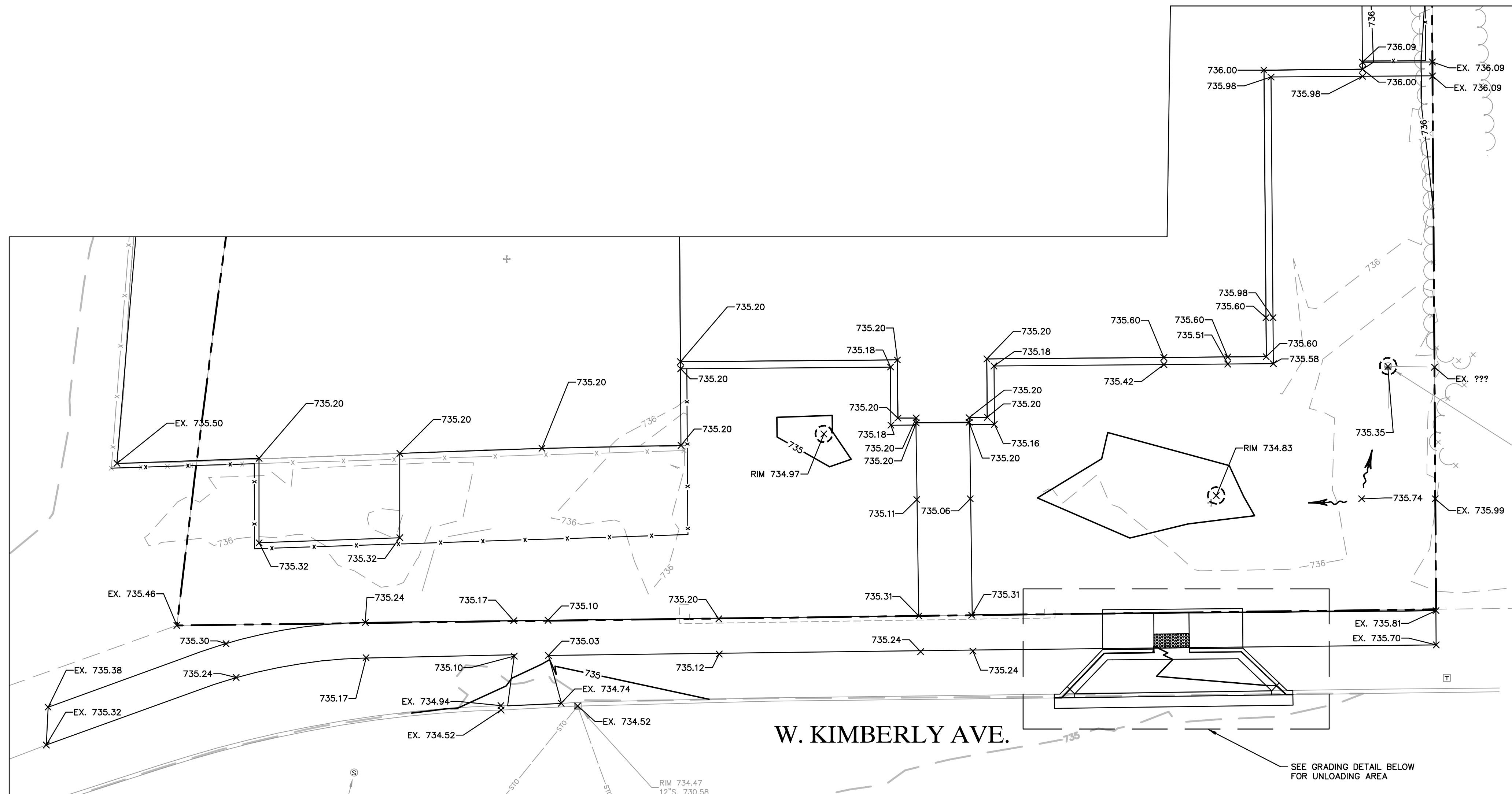
SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. # DESCRIPTION DATE

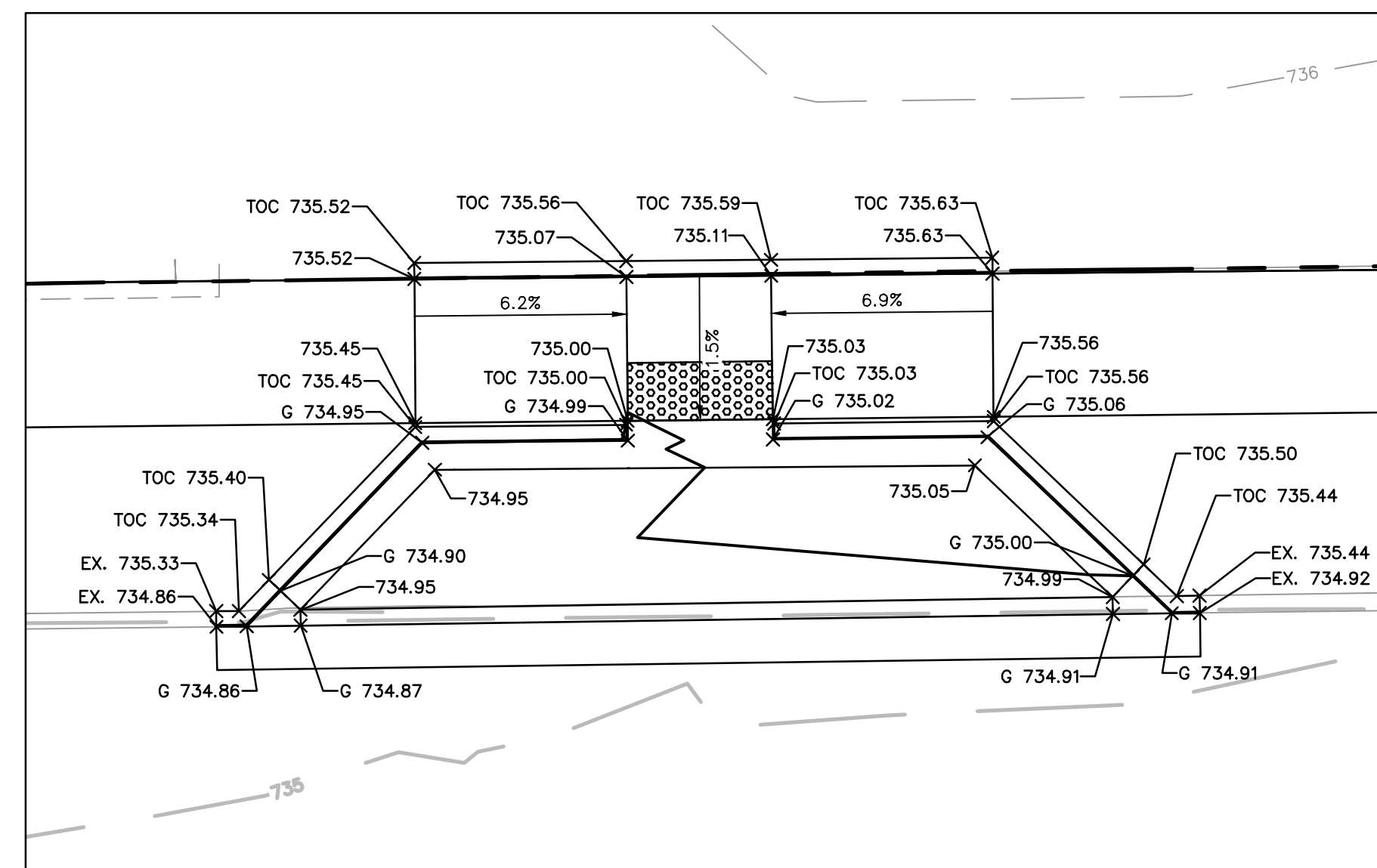
SOUTH ENTRANCE
GRADING DETAIL

C301



LEGEND

	INDICATES EXISTING PROPERTY LINE
	STORM DRAIN INLET PROTECTION (SEE DETAIL)
	PROPOSED CONTOUR & SPOT GRADE
	EXISTING CONTOUR & SPOT GRADE
	EXISTING SPOT GRADE TO MATCH
	PROPOSED FINISHED PAVEMENT SPOT GRADE
	PROPOSED TOP OF CURB SPOT GRADE
	PROPOSED GUTTER SPOT GRADE

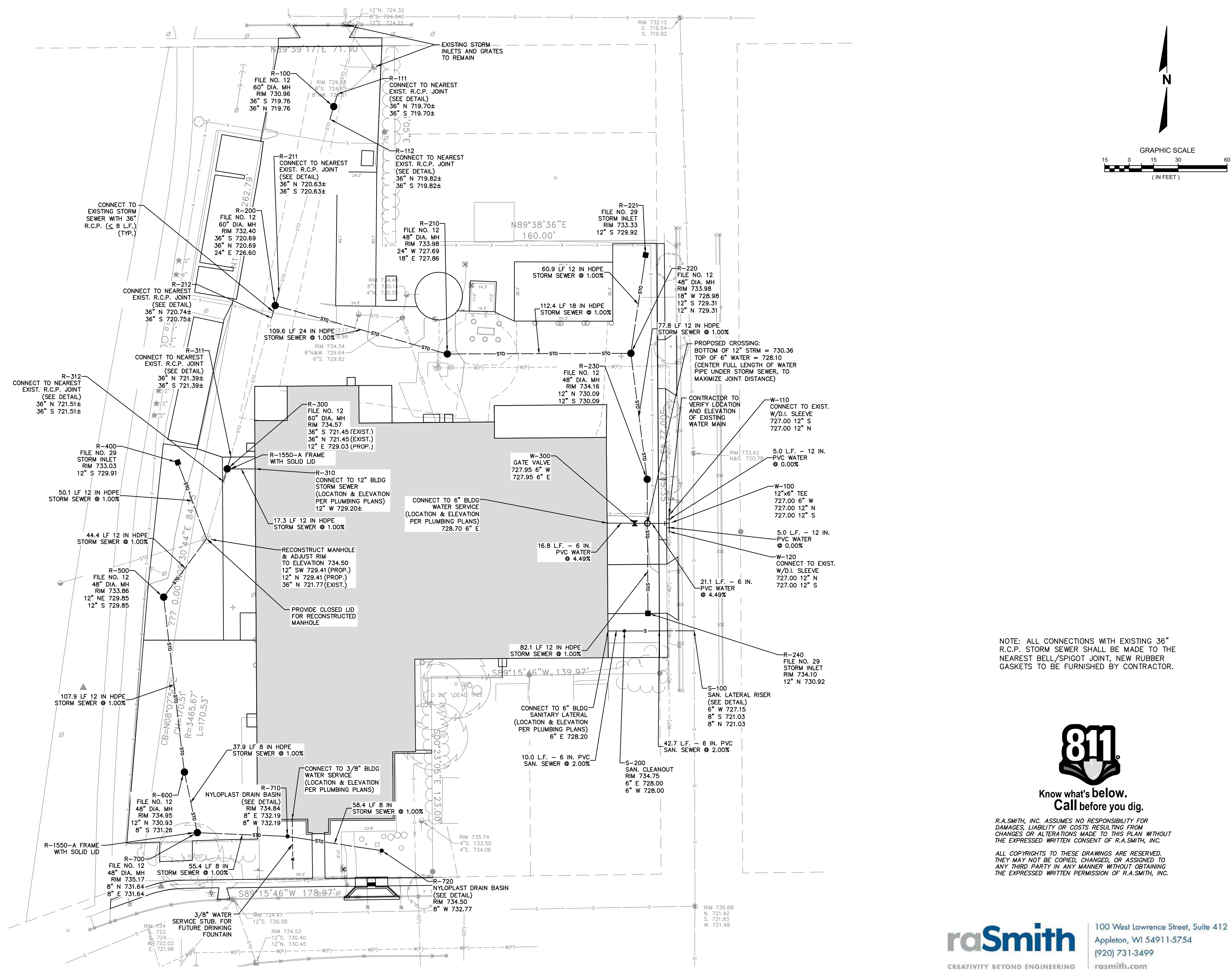


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NOTE: ALL CONNECTIONS WITH EXISTING 36" R.C.P. STORM SEWER SHALL BE MADE TO THE NEAREST BELL/SPIGOT JOINT, NEW RUBBER GASKETS TO BE FURNISHED BY CONTRACTOR.



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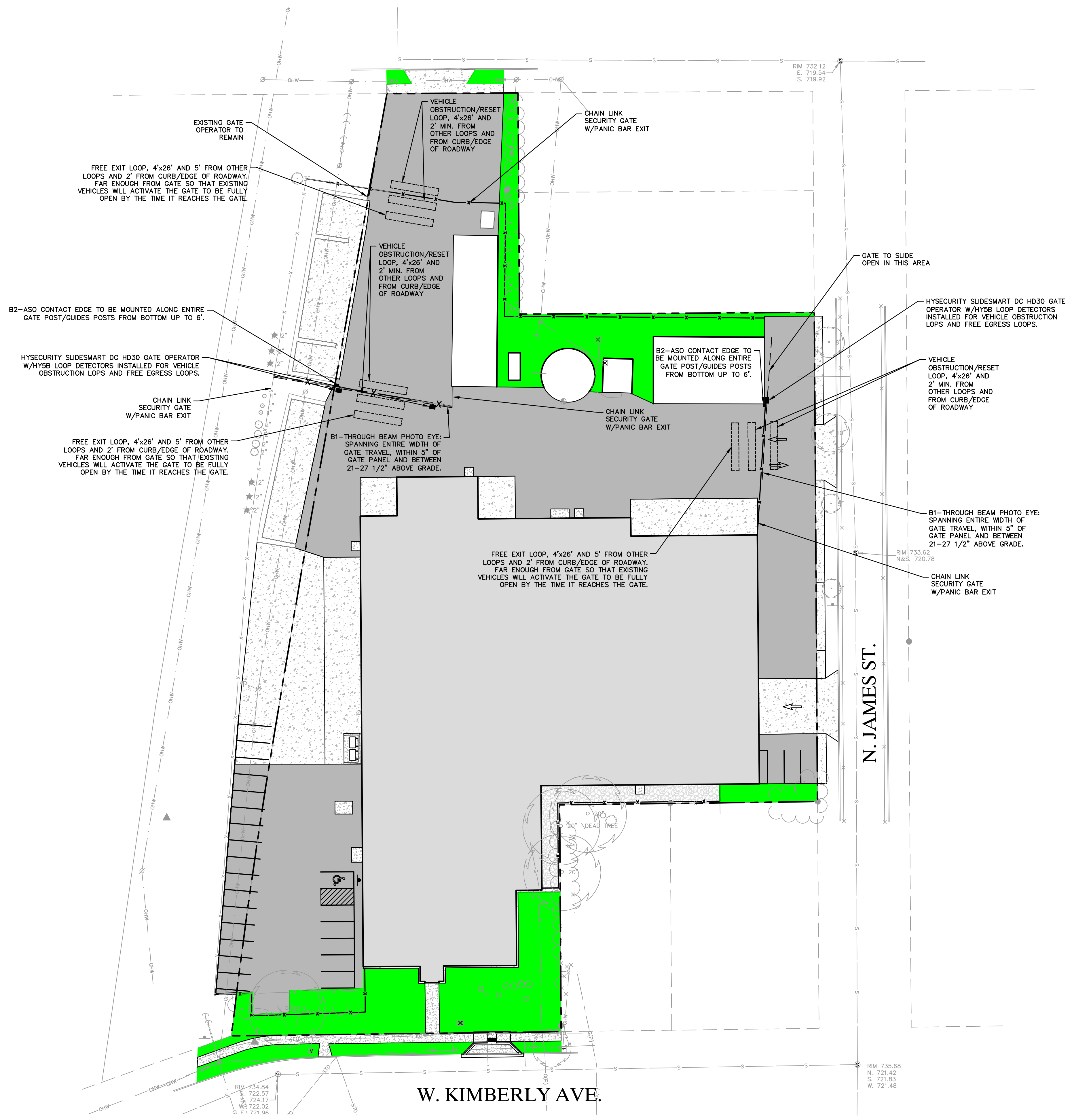
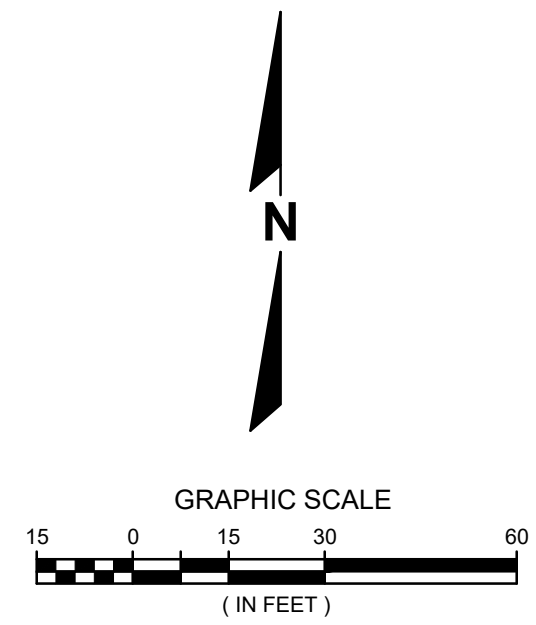
SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. # DESCRIPTION DATE

SECURITY GATE SITE PLAN

C500



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S. 721.83
W. 721.48

RIM 734.84
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W. 724.17
F. 722.02
F. 721.88

RIM 732.12
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S. 719.92

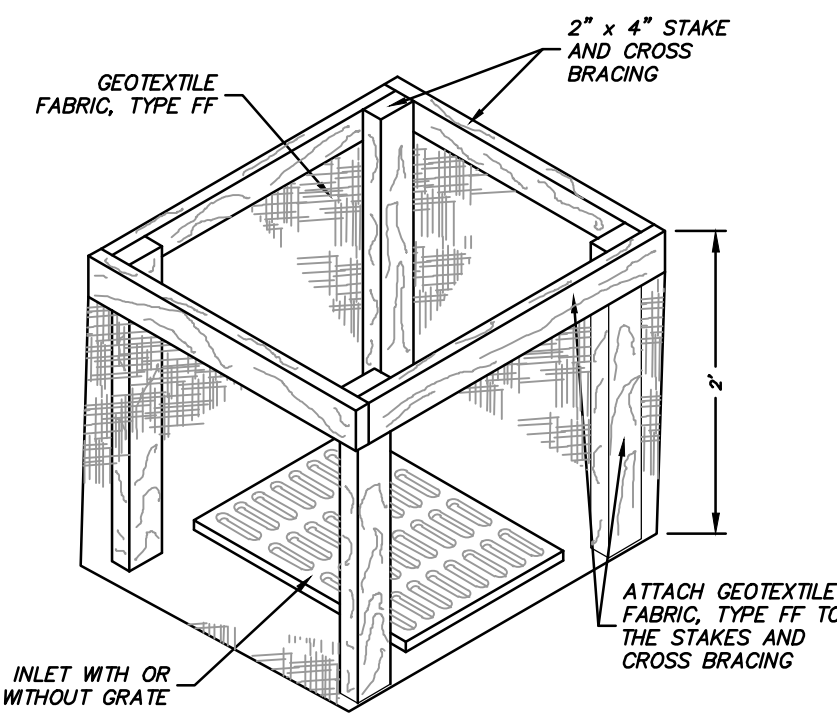
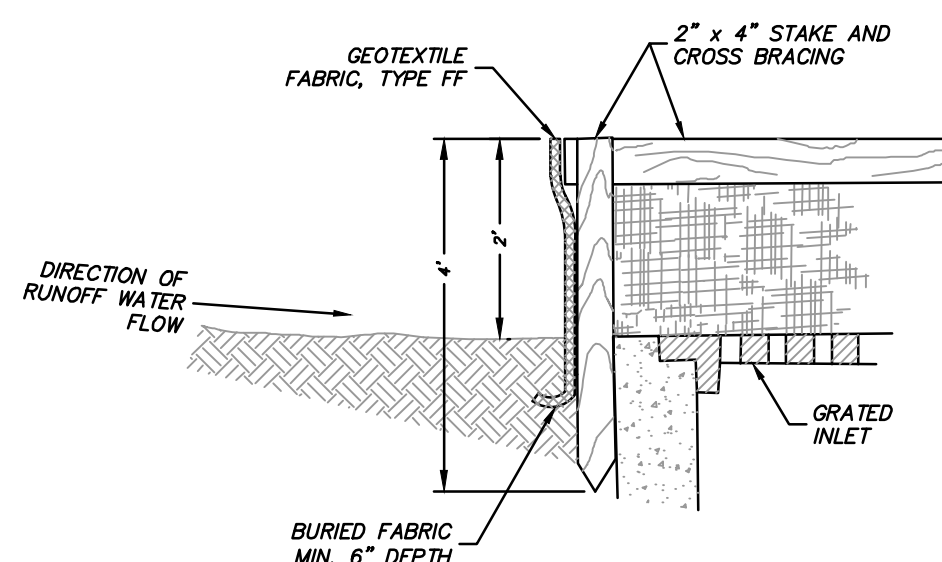
RIM 733.62
N&S. 720.78

W. KIMBERLY AVE.

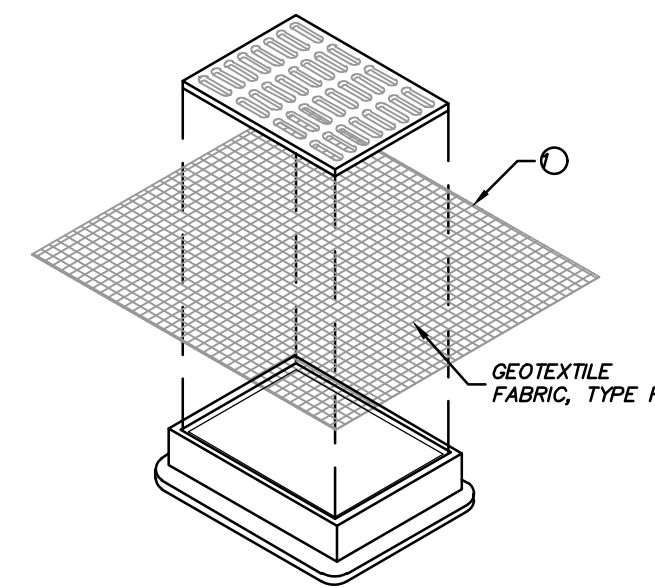
N. JAMES ST.

EROSION CONTROL NOTES:

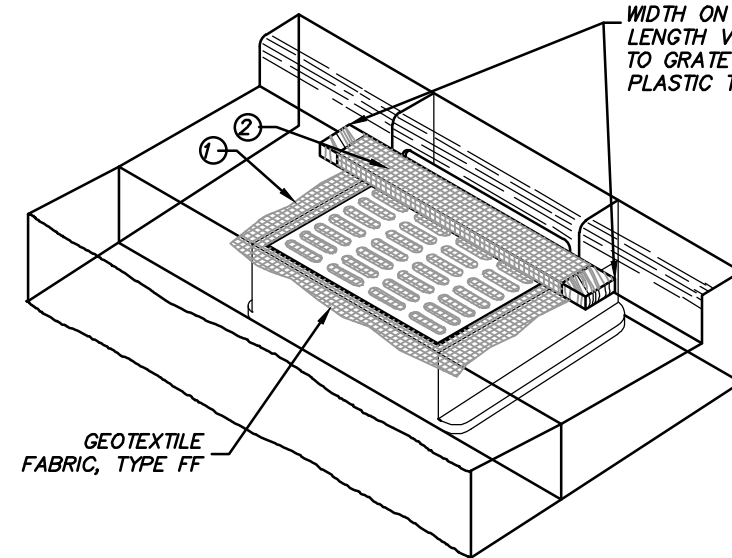
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
4. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
6. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
7. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
8. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT REACHES HALF THE HEIGHT OF THE FENCE. THE SILT FENCE SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
9. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
10. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
11. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
12. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
13. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
14. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A WOOROUS DENSE VEGETATIVE COVER.



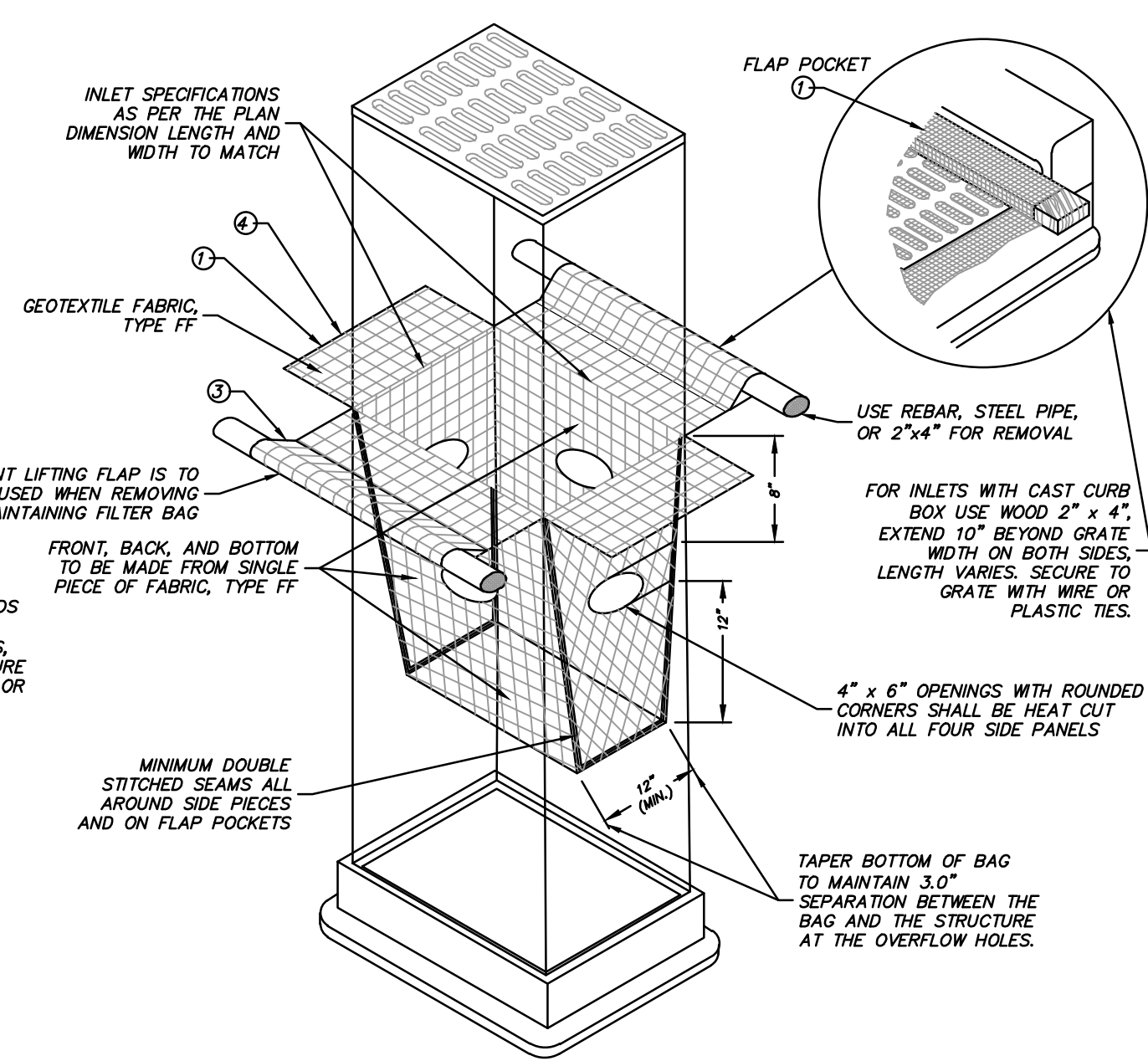
INLET PROTECTION TYPE A



INLET PROTECTION TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION TYPE C
(WITH CURB BOX)



INLET PROTECTION TYPE D
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE 2)

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- 4 SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

GENERAL NOTES:

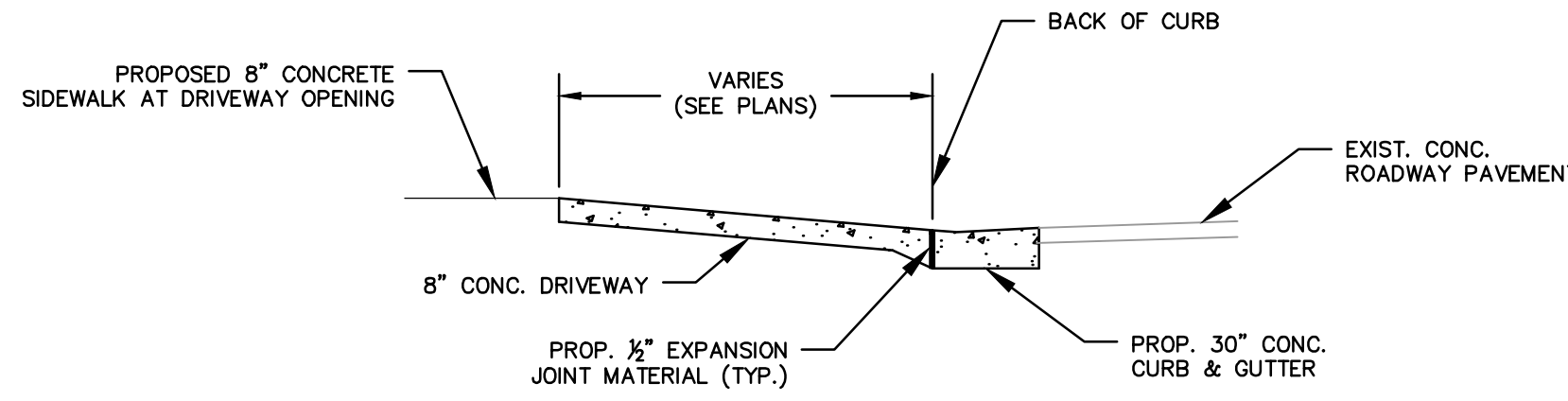
INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.
 TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.
 TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.
 TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.
 TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.
 TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.
 TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.

INSTALLATION NOTES:

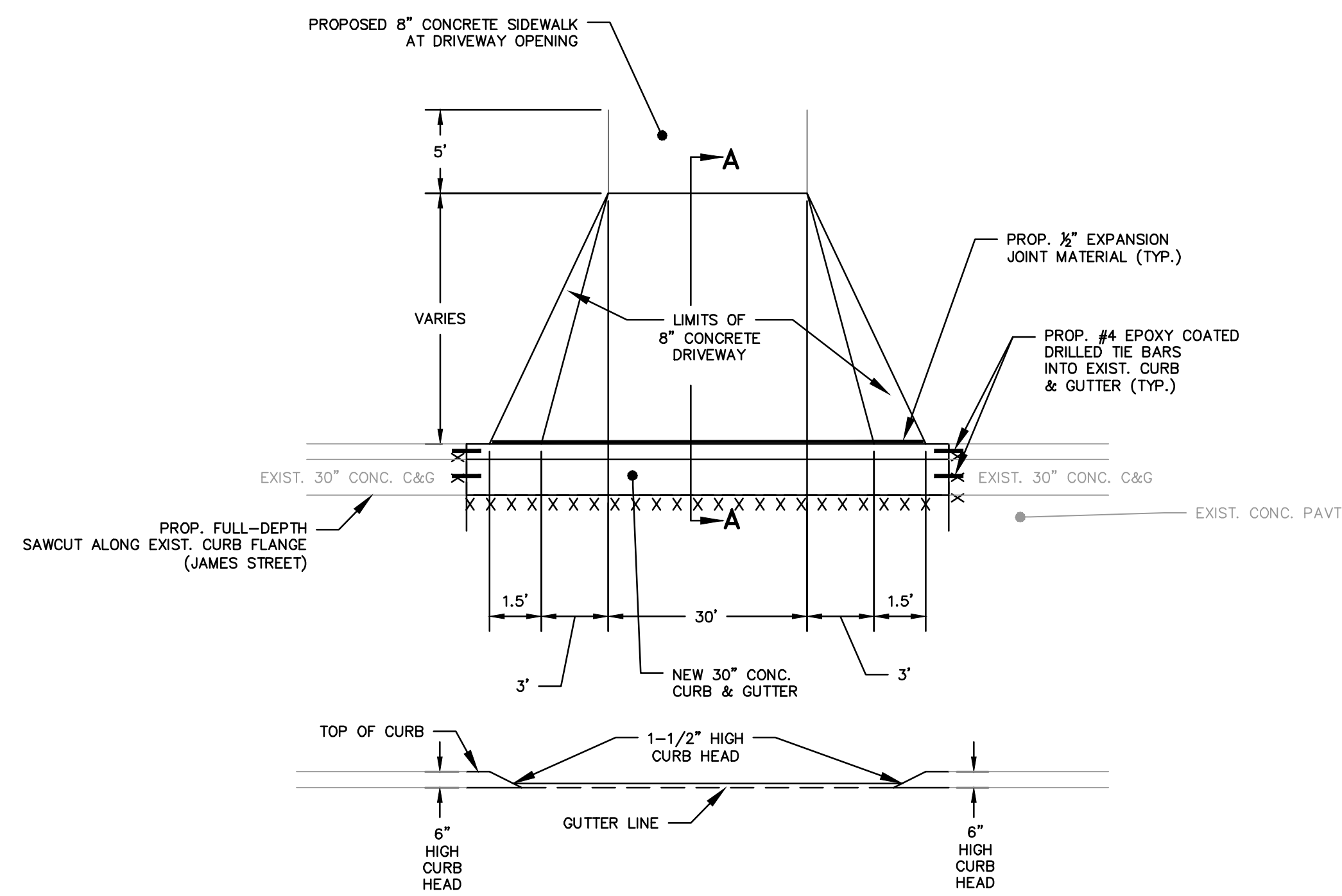
TYPE B & C:
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 TYPE D:
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

MAINTENANCE:

REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.
 INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.
 FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.
 REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



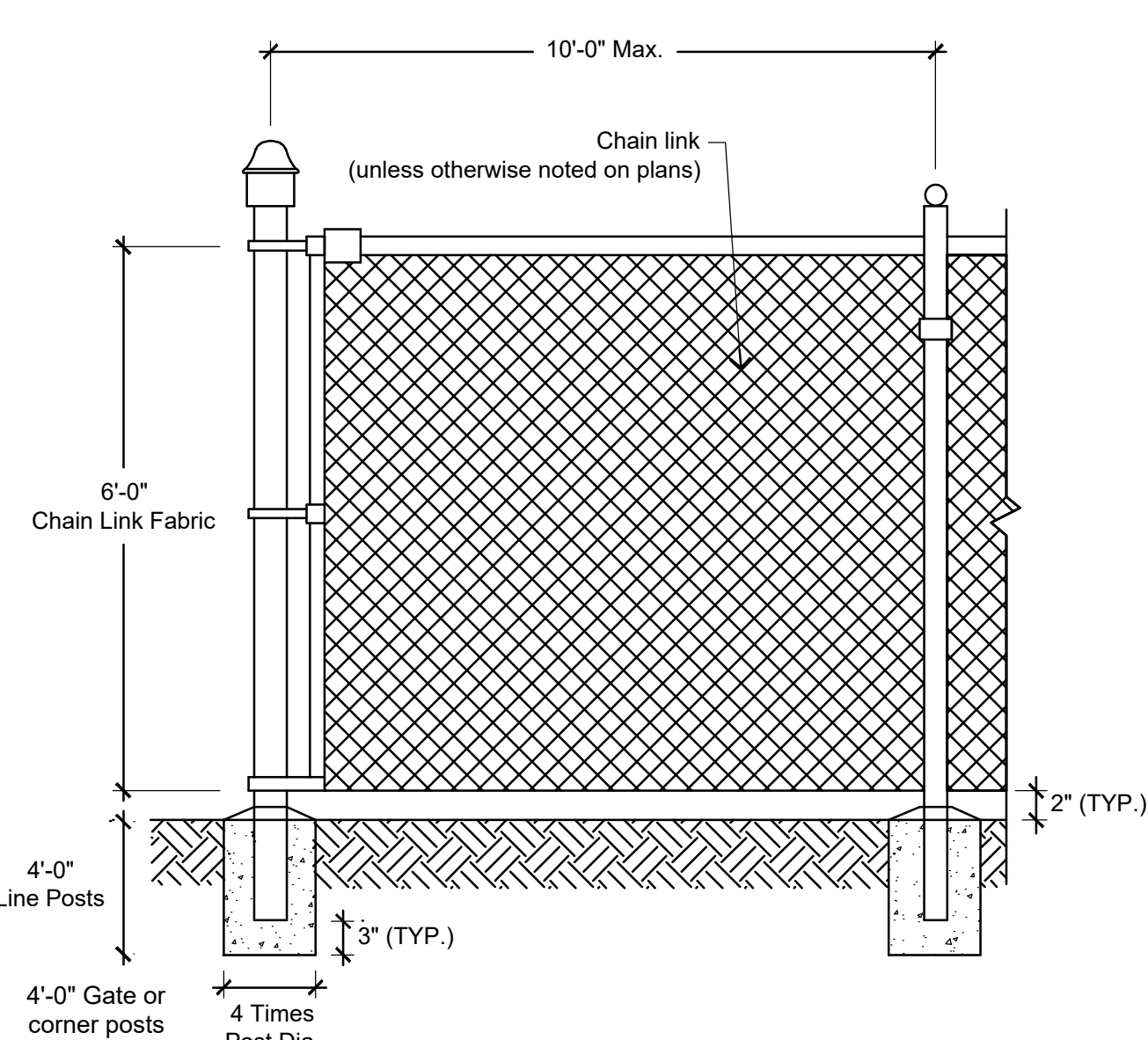
SECTION A-A



CONCRETE DRIVEWAY APRON DETAIL

N.T.S.

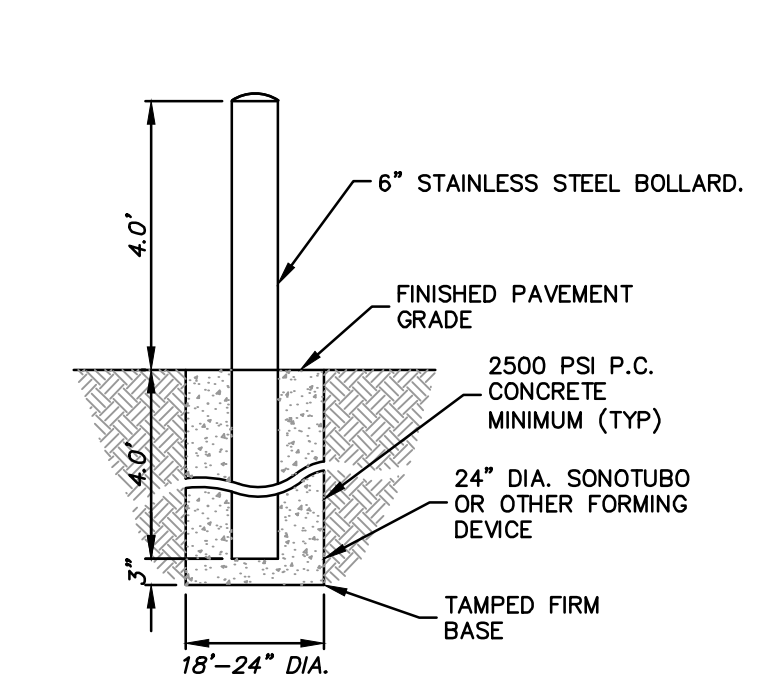
STORM DRAIN INLET PROTECTION DETAIL



CHAIN LINK FENCE DETAIL

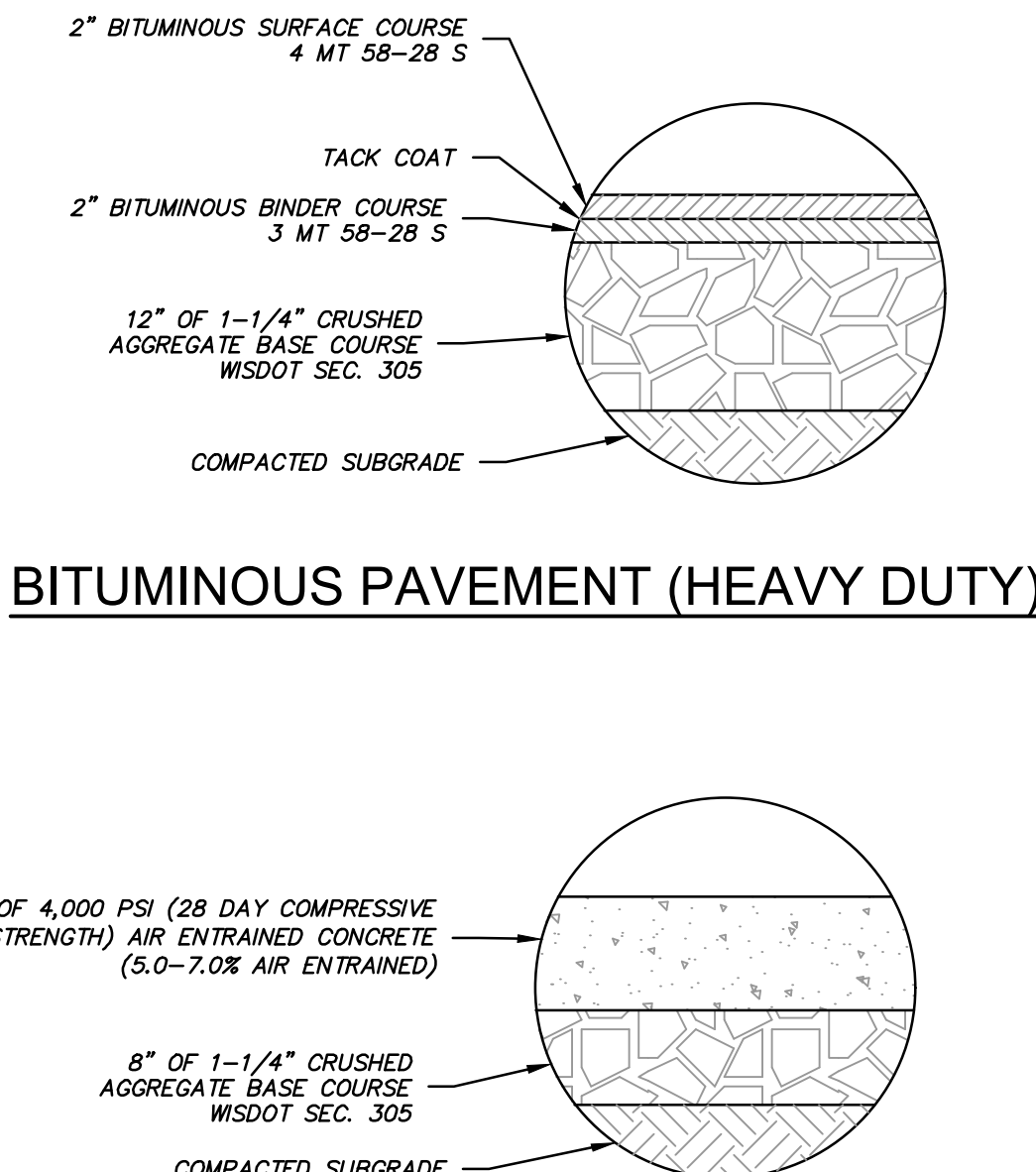
N.T.S.

Contractor shall submit shop drawings to engineer for approval of the size, type, and gauge of materials that will be used for construction of a chain link fence prior to construction.



BOLLARD DETAIL

N.T.S.



BITUMINOUS PAVEMENT (HEAVY DUTY)

CONCRETE PAVEMENT (HEAVY DUTY)



NOT FOR CONSTRUCTION

Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
 426 W. Kimberly Avenue
 Kimberly, WI 54136

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SEH Project: KIMBV 171196
 Checked By: BLH
 Drawn By: JWS

Project Status: Issue Date

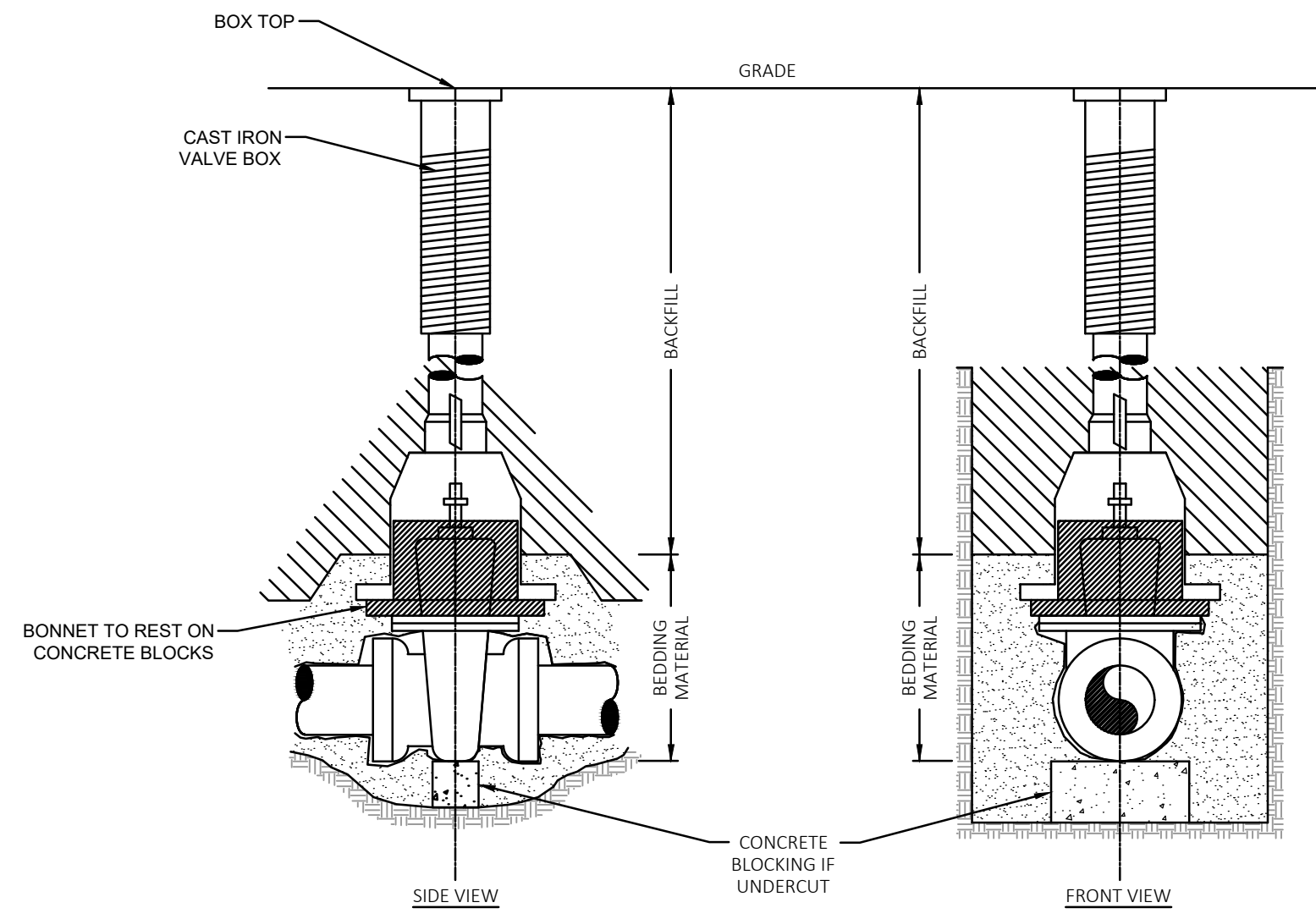
SITE PLAN REVIEW: 12-18-2023

REVISION SCHEDULE

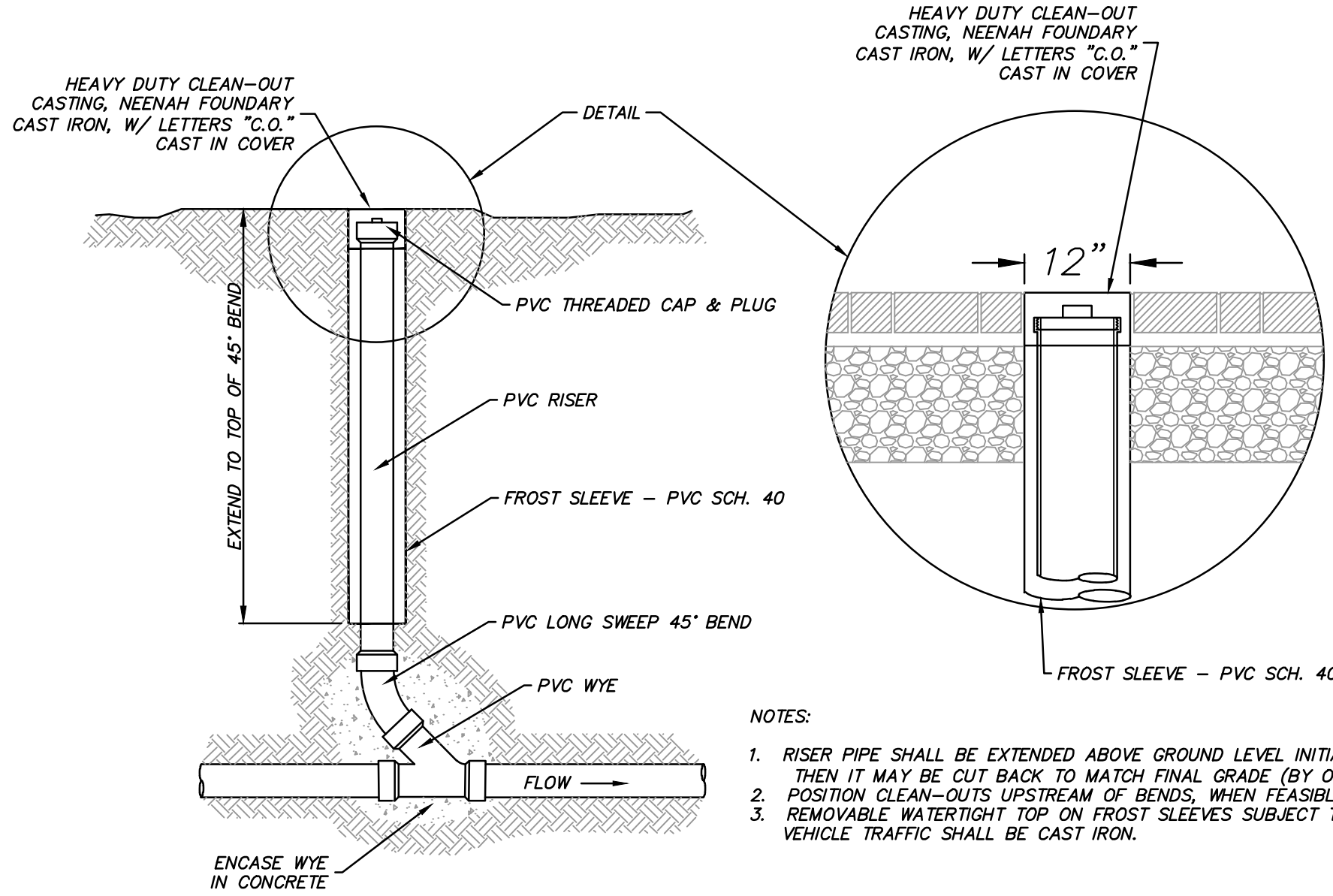
REV. #	DESCRIPTION	DATE

SITE DETAILS

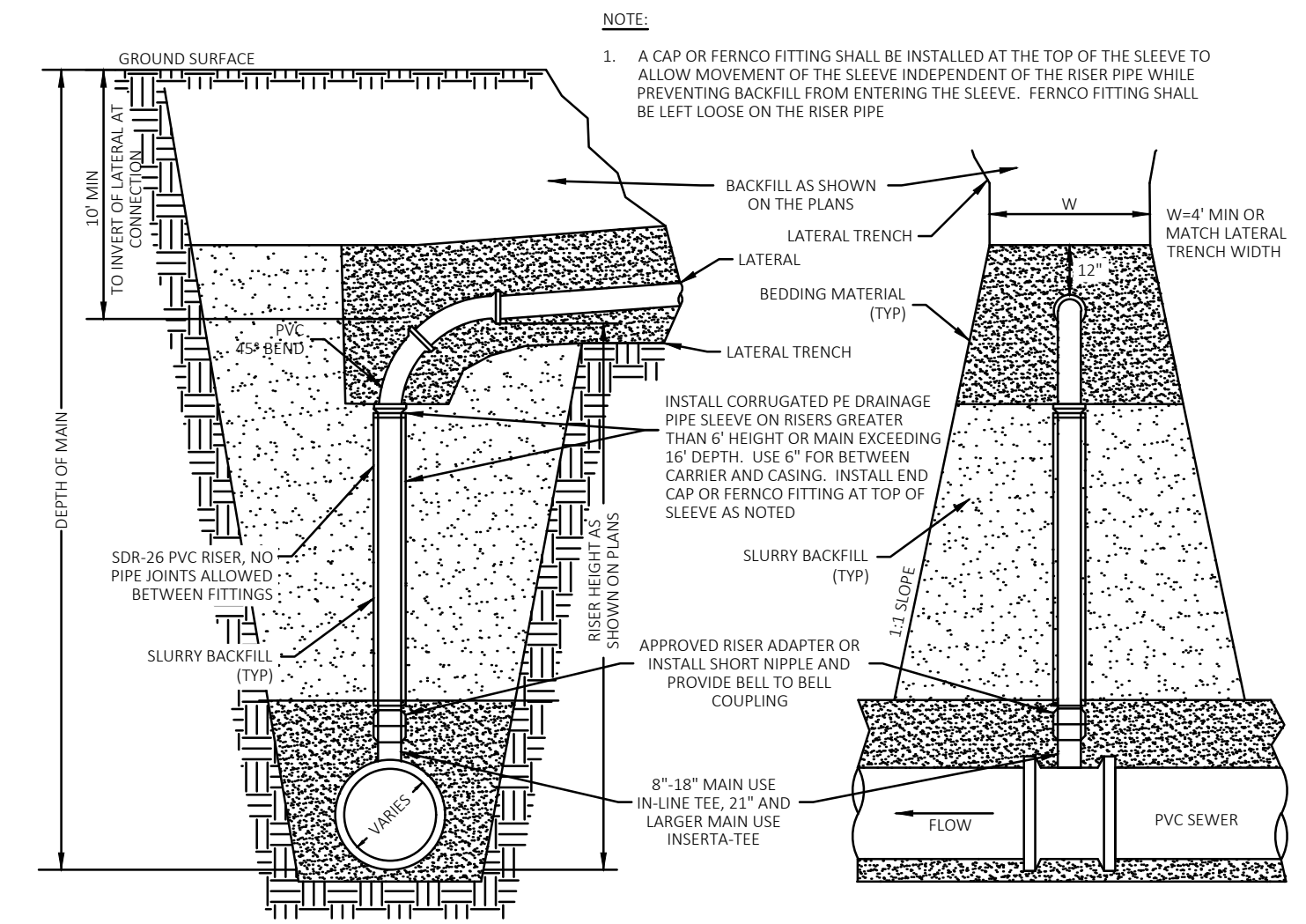
C600



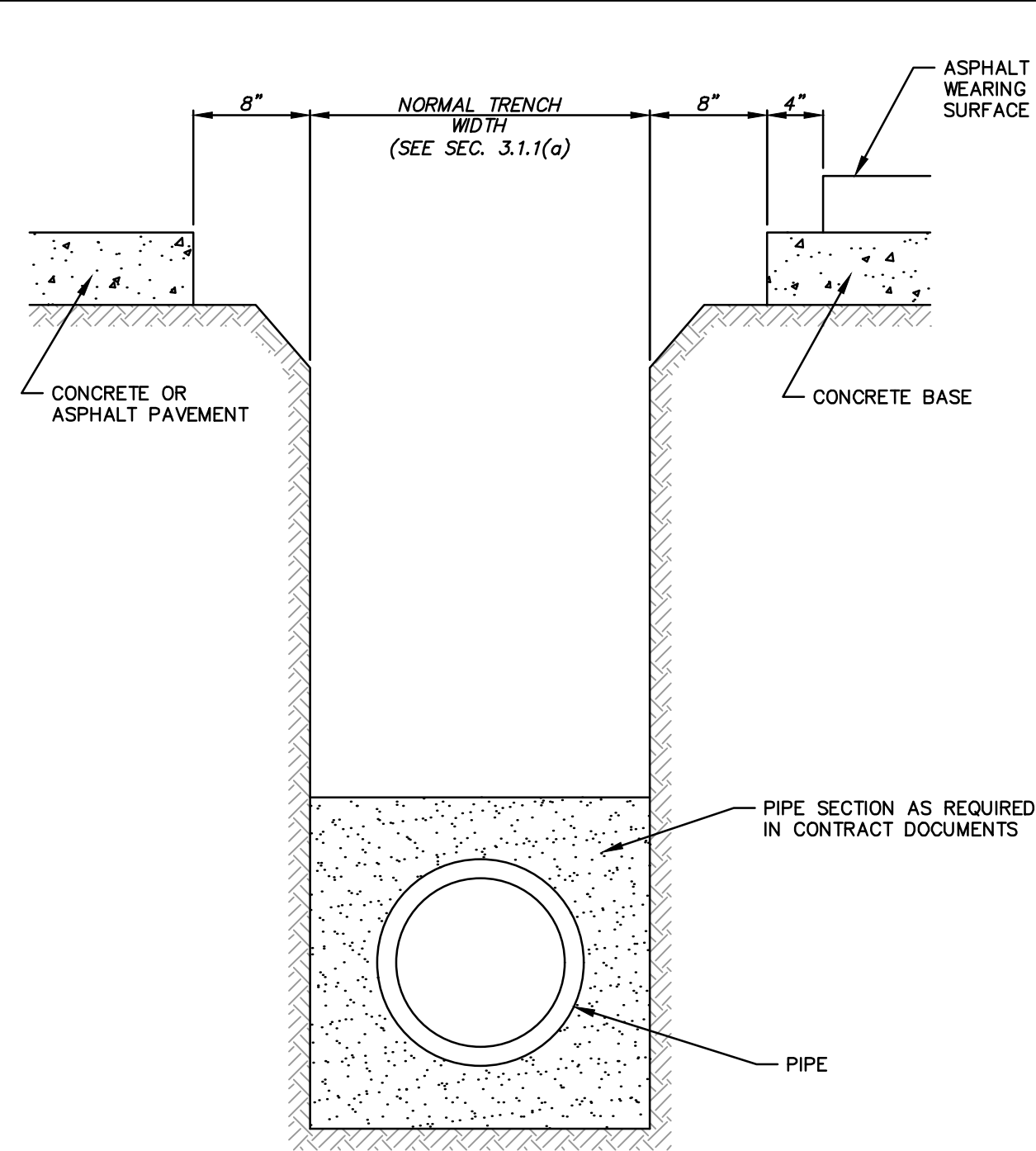
GATE VALVE DETAIL
N.T.S.



SANITARY CLEAN-OUT DETAIL
N.T.S.

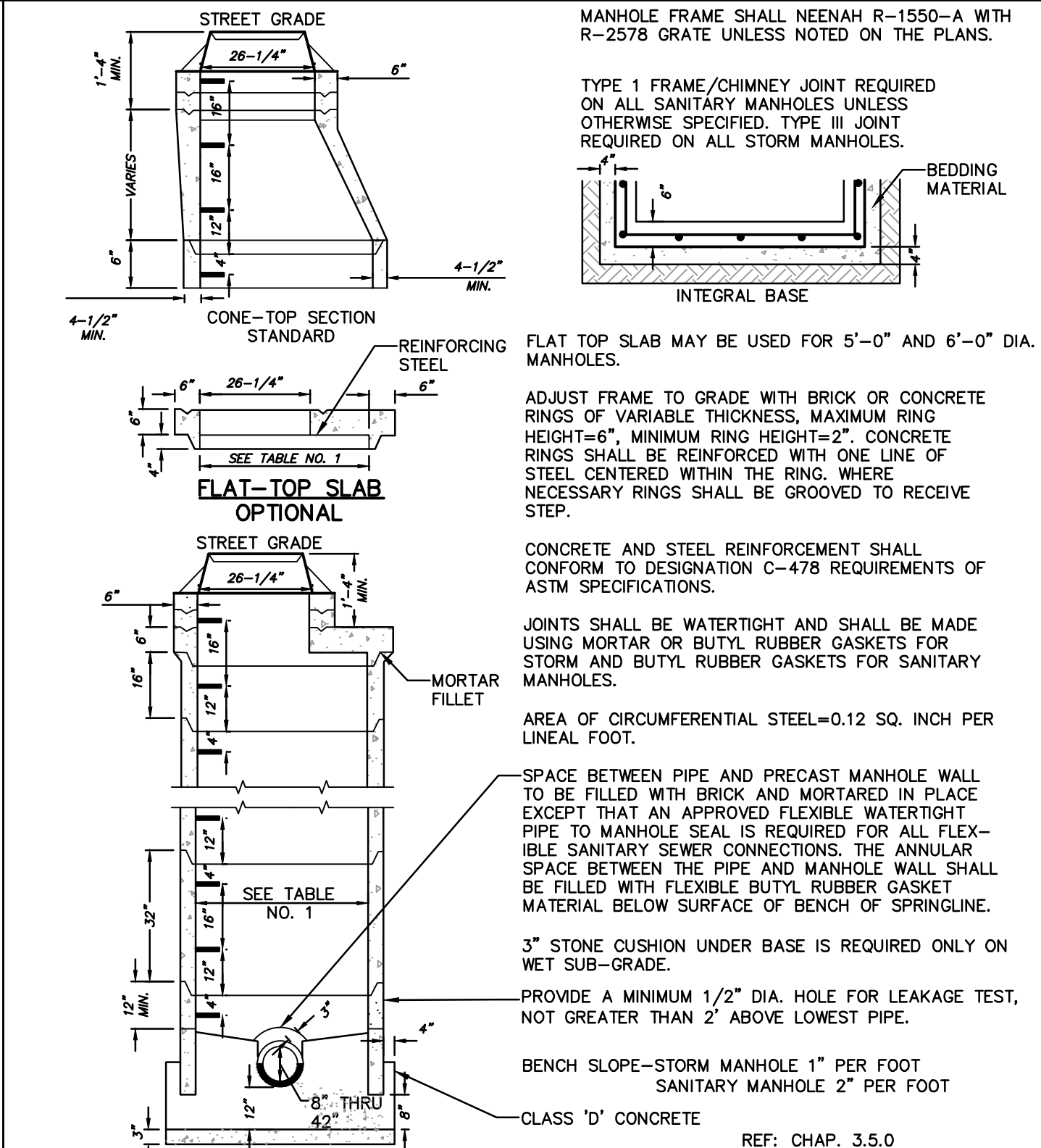


SANITARY LATERAL RISER DETAIL
N.T.S.



REF: SEC. 2.2.6

TYPICAL CUT PAVEMENT TRENCH SECTION	
NOT TO SCALE MARCH 1980	FILE NO. 1

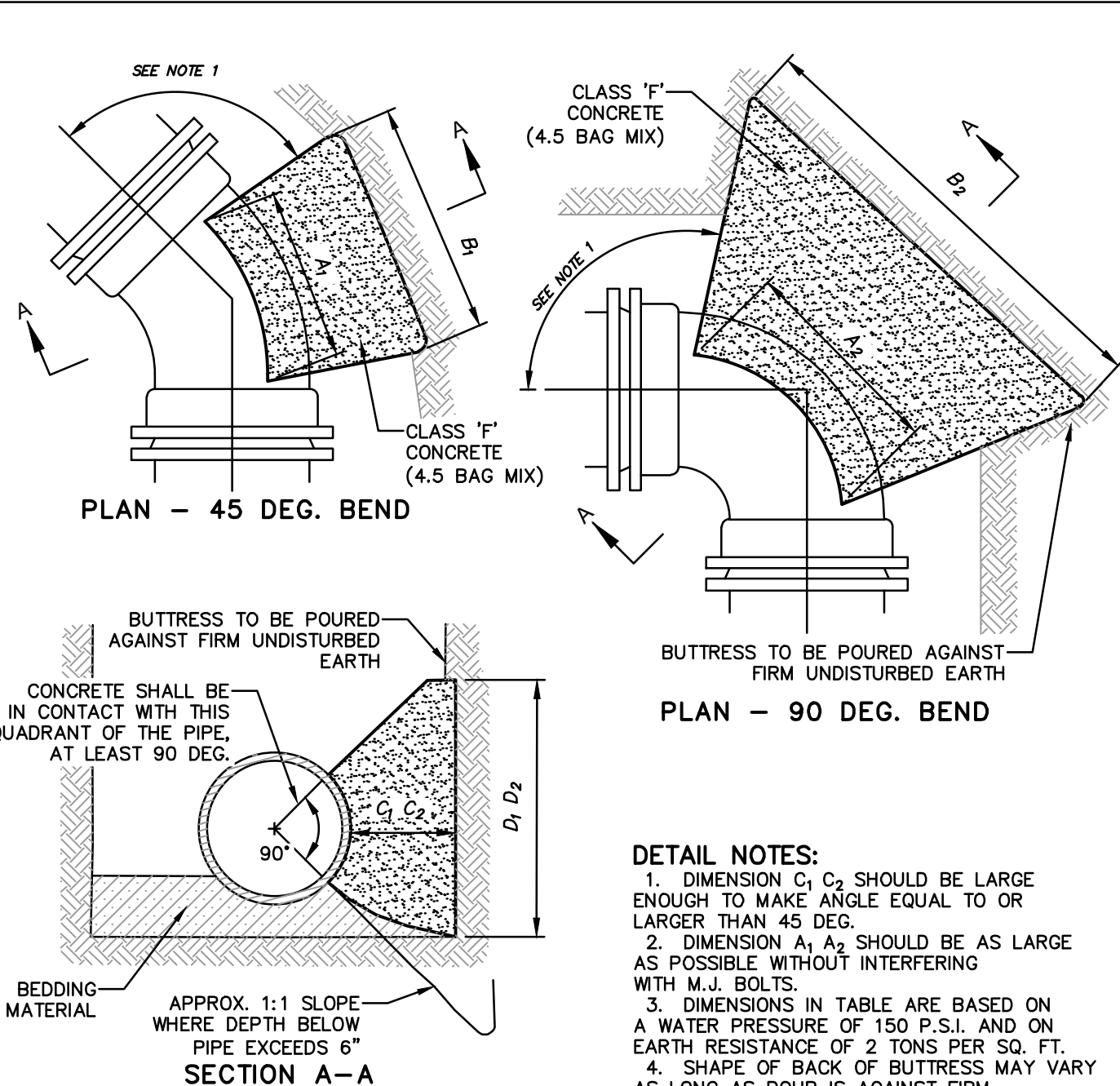


REF: CHAP. 3.5.0

TABLE NO. 1 POURED BASE		
PIPE DIA.	MANHOLE DIA.	WALL THICKNESS
8" THRU 27"	3'-6"	4 1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

PRECAST MANHOLE

NOT TO SCALE
JAN. 2, 1992

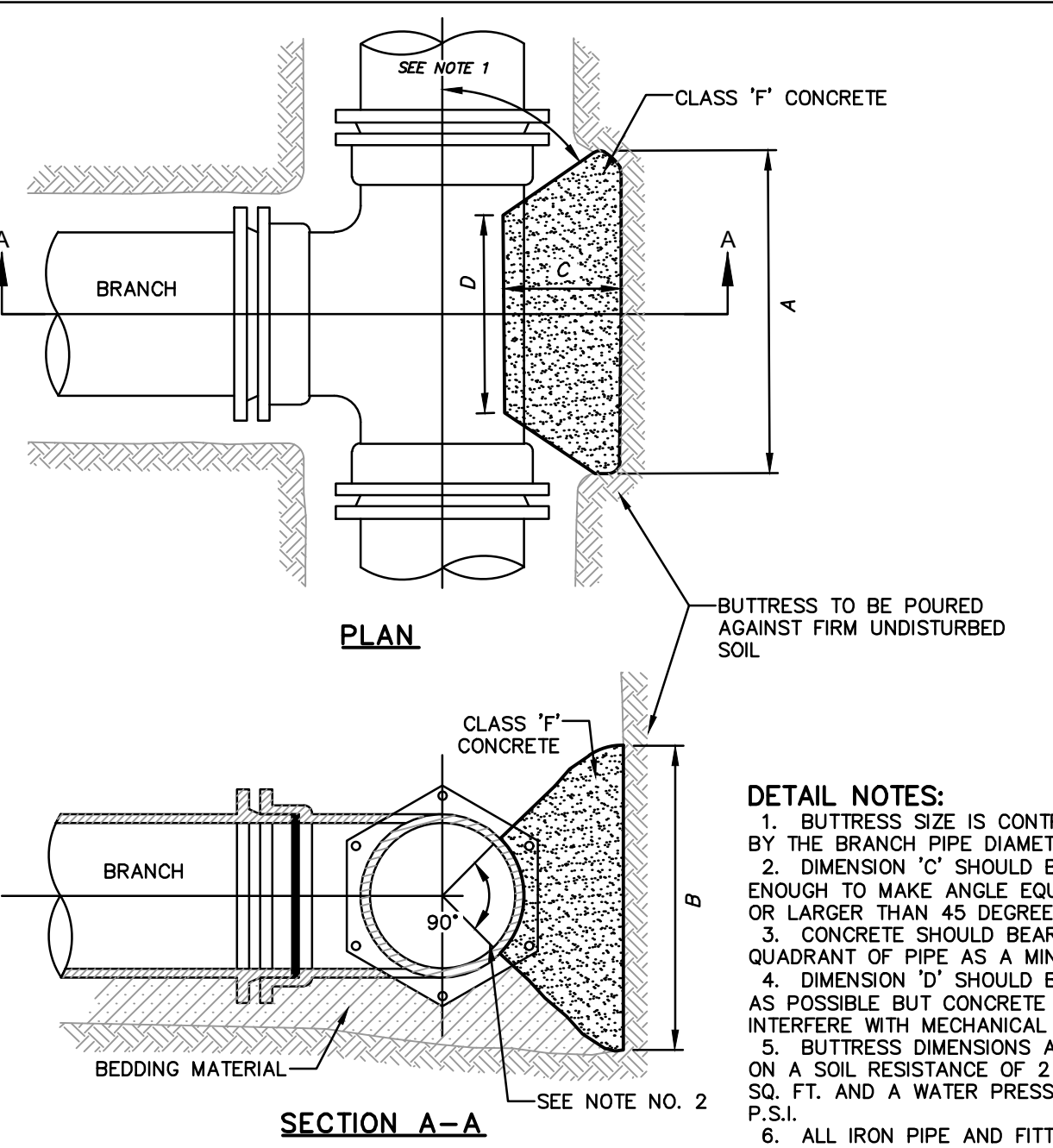


REF: SEC. 4.3.13.

BUTTRISS DIMENSIONS				
PIPE SIZE	45 DEG. BENDS		90 DEG. BENDS	
	B ₁	D ₁	B ₂	D ₂
4"	0'-10"	1'-3"	1'-6"	1'-4"
6"	1'-4"	1'-8"	2'-2"	1'-10"
8"	1'-11"	2'-0"	3'-0"	2'-4"
10"	1'-11"	2'-0"	3'-0"	2'-4"
12"	2'-1"	2'-6"	3'-7"	2'-8"
16"	3'-0"	3'-0"	5'-6"	3'-0"
20"	3'-9"	3'-9"	6'-9"	3'-9"
24"	4'-7"	4'-3"	8'-4"	4'-4"

BUTTRISS FOR 45 DEG. & 90 DEG. BENDS

NOT TO SCALE
DECEMBER 2003



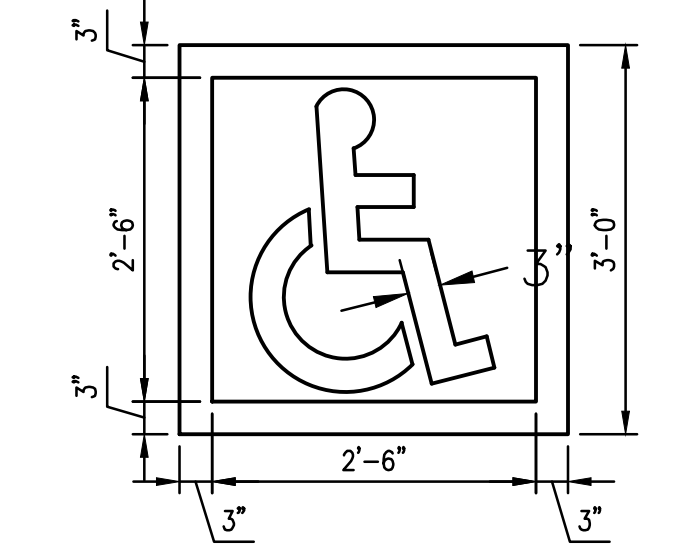
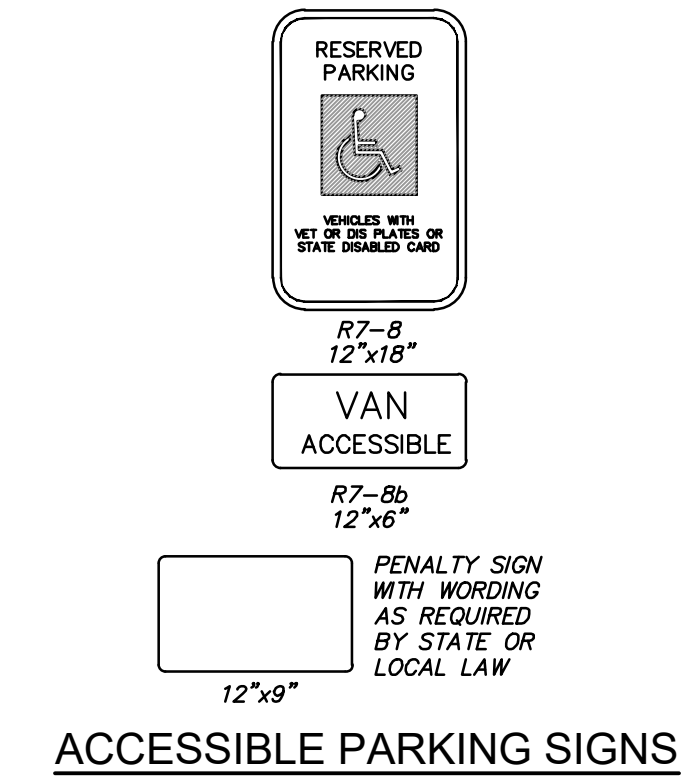
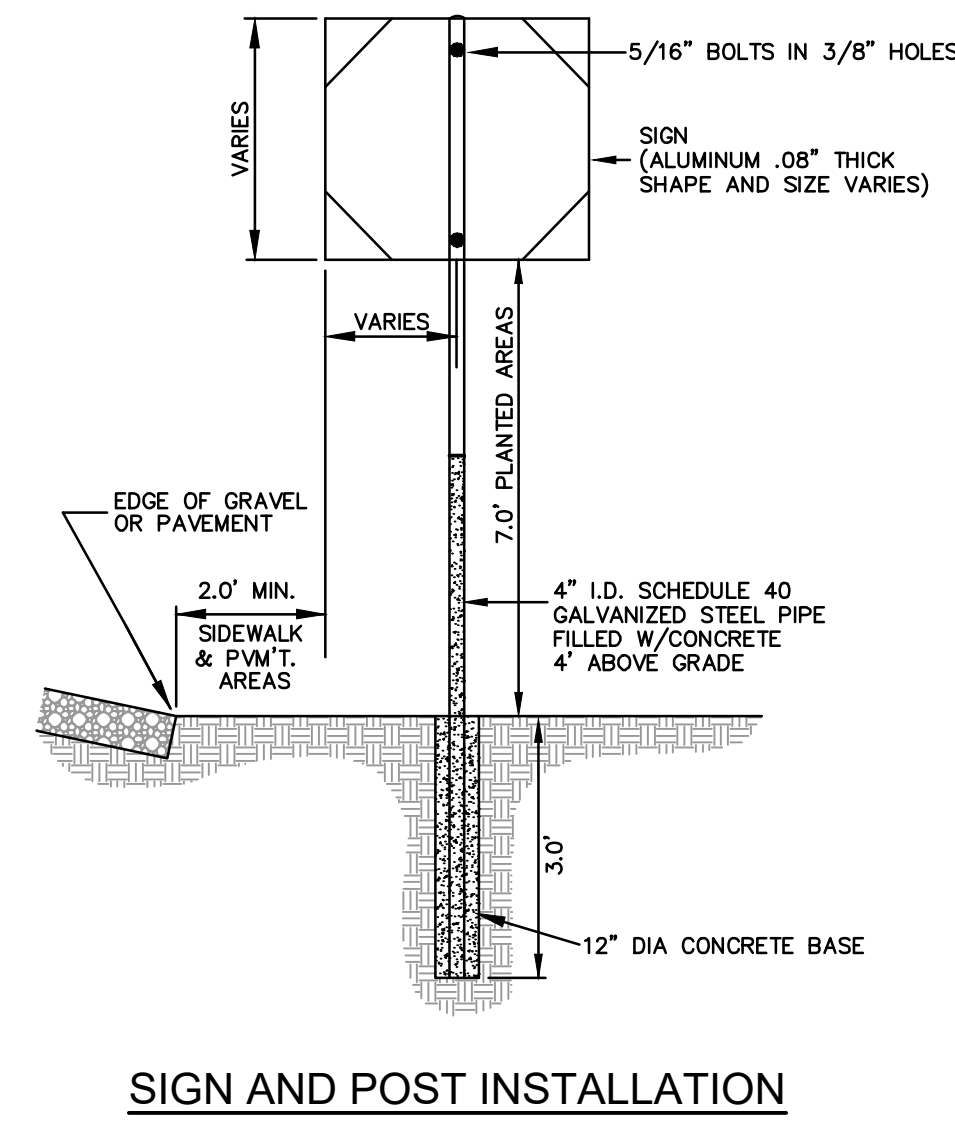
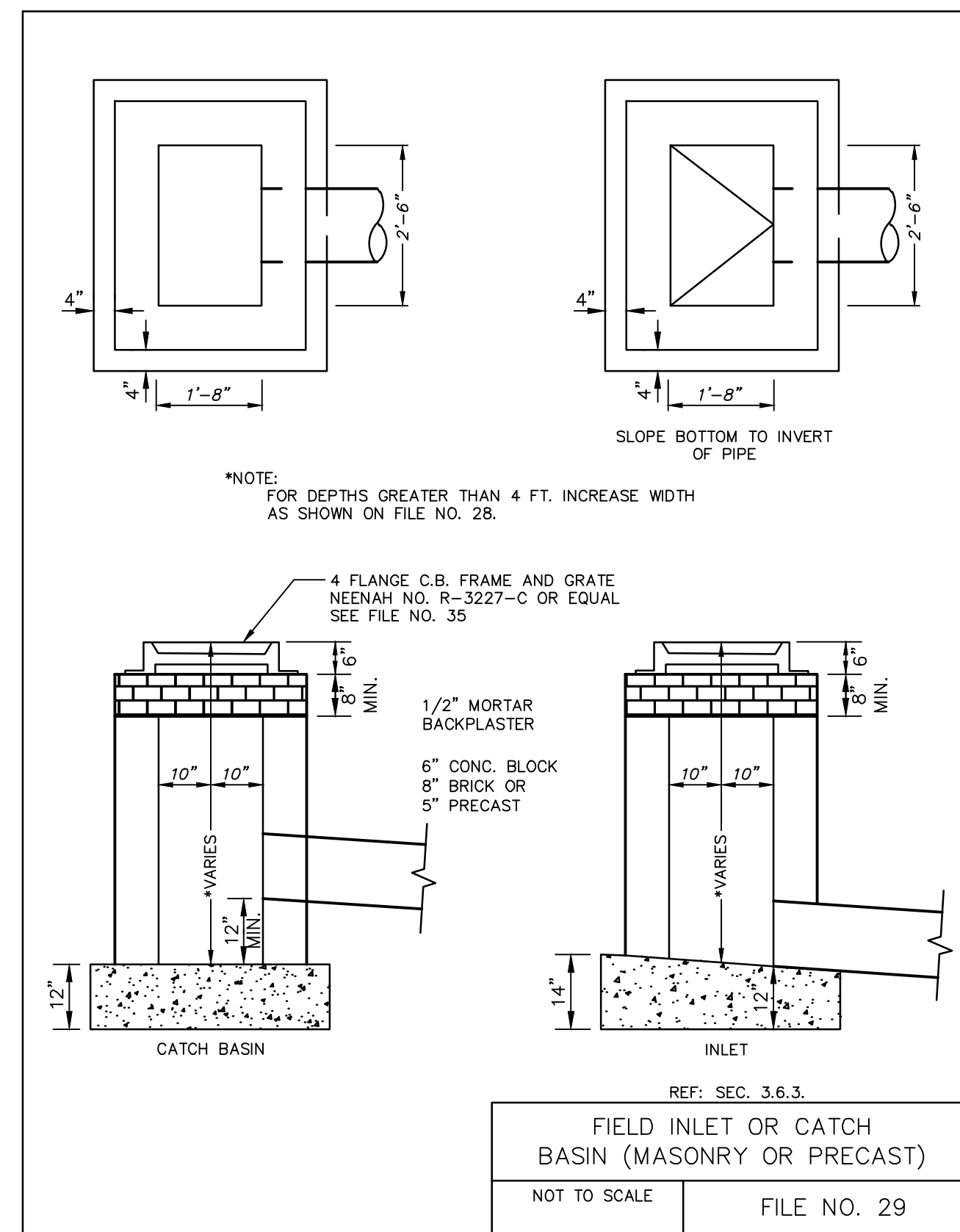
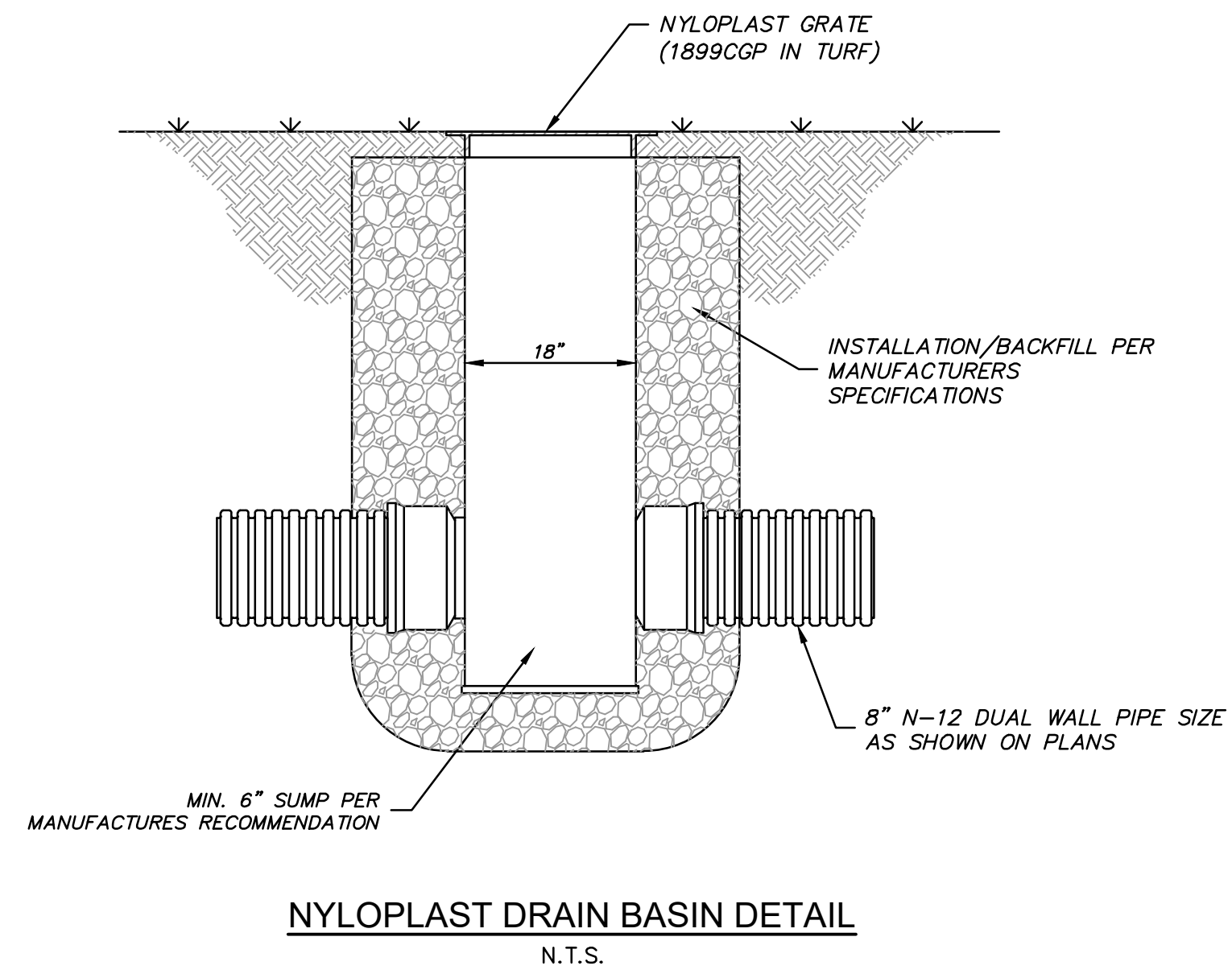
REF: SEC. 4.3.13.

BUTTRISS DIMENSIONS				
PIPE DIA.	A	B	C	D
6"	1'-6"	1'-8"		
8"	1'-9"	2'-4"		
10"	1'-9"	2'-4"		
12"	2'-3"	2'-7"		
16"	3'-8"	2'-10"		
20"	5'-0"	3'-10"		
24"	5'-4"	4'-8"		

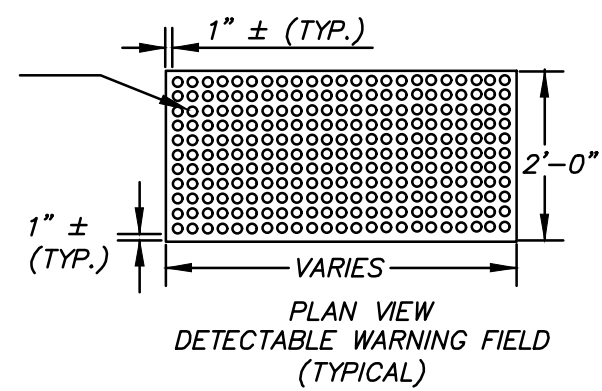
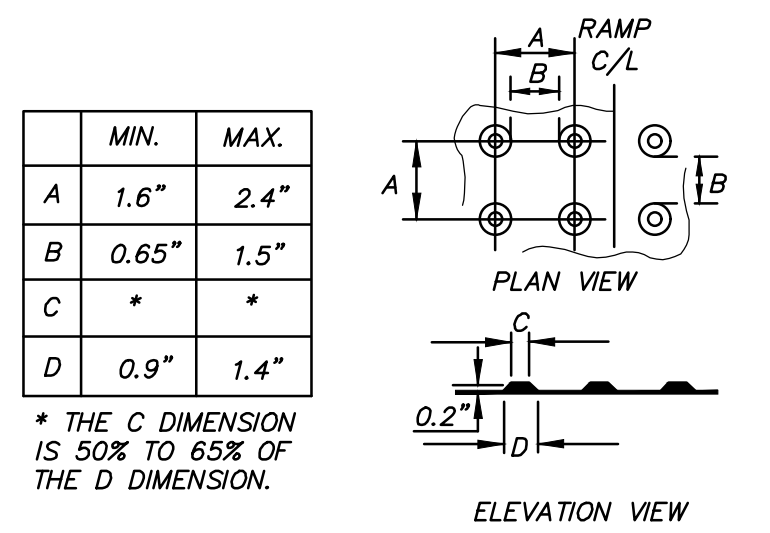
BUTTRISS FOR 11.25 DEG. & 22.5 DEG. BENDS

NOT TO SCALE
DECEMBER 2003

FILE NO. 46



FOR ALL ACCESSIBLE AND VAN ACCESSIBLE SPACES
 A. ALL STROKES TO BE 3" WIDE.
 B. BLUE BACKGROUND WITH WHITE SYMBOL & BORDER.
 C. LOCATE SYMBOL AT CENTER OF STALL WHERE SHOWN ON SITE PLAN.
 D. ONE SYMBOL FOR EACH ADA PARKING SPACE.



DETECTABLE WARNING FIELD DETAIL

Nice

Transmitters Era One & Inti



Era One

2 and 4-channel transmitters with visor clip

Ideal and sleek design solution to control multi-user systems



Visor clip standard on both ON2E/A and ON4E/A

Inti Transmitters

The colorful line of 2-channel miniaturized transmitters, available in six colors. Ideal for multi-user systems



Ergonomic

Scratch-resistant coating

Self-learning and built-in proximity receiver with 72 bit O-Code encoding. 433.92 MHz rolling code transmitters with management of Identity Codes and Certificates.

Increase security using data processing and recognition systems that increase its degree of security and deliver a threefold reduction in automation response times.

Easy memorization using a transmitter already programmed in the receiver

Model	Description
ON2E/A	Era One Transmitter, 2 channels, 433.92 MHz
ON4E/A	Era One Transmitter, 4 channels, 433.92 MHz
INTI2Y/A	Inti Transmitter, 2 channels, 433.92 MHz, Yellow
INTI2R/A	Inti Transmitter, 2 channels, 433.92 MHz, Red
INTI2L/A	Inti Transmitter, 2 channels, 433.92 MHz, Lilac
INTI2G/A	Inti Transmitter, 2 channels, 433.92 MHz, Green
INTI2B/A	Inti Transmitter, 2 channels, 433.92 MHz, Blue
INTI2/A	Inti Transmitter, 2 channels, 433.92 MHz, Black

Transmitter Technical Specifications

Model	Carrier frequency	Estimated range	Encoding	Power supply	Battery life	Protection class	Dimensions and weight
ON2E/A ON4E/A	433.92 MHz	Outdoor: 656 ft (200 m) Inside building: 115 ft (35 m)*	O-Code 72 bit; rolling code**	3VDC; type CR2032 lithium battery	2 years (with 10 transmissions per day)	IP40 (use in protected environments)	1.7w x 2.1d x 0.4h inch 0.02 lb
INTI2/A all colors	433.92 MHz	Outdoor: 492 ft (150 m); Inside building: 98 ft (30 m)*	O-Code 72 bit; rolling code**	3VDC; type CR2032 lithium battery	2 years (with 10 transmissions for day)	IP40 (use in protected environments)	1.2w x 2.2d x 0.3h inch 0.03 lb

* Transmitter range and receiver reception capacity may be affected by any devices operating on the same frequency in the area.
** Not compatible with European products.



800-321-9947 • www.hysecurity.com
Manufacturer of ultra-reliable rural/ranch, residential, commercial, solar, and parking gate operators and accessories.

D0825 082919

Nice

Receivers OXI/A & 318N



OXI/A Receiver

Multi-channel plug in receiver, compatible with 936, 1050 and XBA3 boards. Advanced features with Era One and Inti Transmitters.

Management: Receivers can receive and memorize up to 1000 codes/transmitters.

Memorization: An unique receiver output can be associated to each transmitter key.

Versatile: Receiver outputs can be customized through board programming to perform several different functions.

These receivers are not compatible with Homelink®



OXI/A Receiver multi-channel plug in

318N Receiver

2-channel receiver with normally open relay contacts.

Management: Receivers can receive and memorize up to 63 codes/transmitters.

Memorization: An unique receiver output can be associated to each transmitter key.

Versatile: Operating voltage is 12/24V AC/DC

These receivers are not compatible with Homelink®



318N Universal receiver

Code	Description
OXI/A	Receiver; 4 channels, 433.92 MHz, 1000 code memory
318N	Receiver, 2 channels, 433.92 MHz, 63 code memory

Receiver Technical Specifications

Model	Reception frequency	Decoding	Number of channels	Power supply	Absorption	Relay contact	Dimensions
318N	433.92 MHz	Digital 52 bit	2	12 - 24V AC/DC	15 mA	Normally Open	3.8w x 1.6d x 0.9h inch
OXI/A	433.92 MHz	Digital 52 Bit	15 - 1050/XBA3 board 2 - 936 board	n/a	30 mA (max)	--	1.9w x 0.7d x 1.7h inch

SYSTEM DESIGN SUPPORT: Contact Nice/HySecurity for help with custom site requirements, CAD drawings, tech manuals or other specifications support.

VISIT WWW.HYSECURITY.COM for installation manuals, parts diagrams, wiring diagrams, specifications, image gallery, videos, training and much more.



Contact Nice/HySecurity for an operator/parts distributor near you.
phone 253-867-3700 | 800-321-9947
www.hysecurity.com | sales@hysecurity.com

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Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
426 W. Kimberly Avenue
Kimberly, WI 54136

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SEH Project KIMBV 171196
Checked By BLH
Drawn By JWS

Project Status Issue Date

SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. # DESCRIPTION DATE

SITE DETAILS

C603

Industrial SlideDriver™

Slide Gate Operator

Premium industrial slide gate operator

- Decades long life and low maintenance
- Move the longest, heaviest gates up to 20,000 lb
- Secure, heavy duty chassis - no visible moving parts
- Dual gate, sally port or sequenced gate integration
- Easy system troubleshooting with onboard event log
- Field programmable to specific site requirements
- UPS models retain full functionality during an AC power outage
- Extreme temperature range without heater
- Real time system security alerts
- 5 year warranty



1-800-321-9947 • www.hysecurity.com
 Manufacturer of ultra-reliable high security, industrial, commercial, residential, parking and crash gate operators and accessories.

Industrial and High Security

HySecurity operators secure the world's critical infrastructure and key assets where ultimate reliability is vital. SlideDriver delivers uncompromising quality to industrial customers worldwide, where ease of use, consistent operation, low maintenance, long life and high reliability is expected.



Slide Gate Operator

31 SlideDriver™ Models

	FAST		FAST			
	1,500 lb gates 1 ft/s	3,000 lb gates 1.7 ft/s	4,000 lb gates 1 ft/s	5,000 lb gates 2.2 ft/s or 3 ft/s	8,000 lb gates 1 ft/s	20,000 lb gates 1 ft/s
Model	SlideDriver 15	SlideDriver 30F	SlideDriver 40	SlideDriver 50VF2/3	SlideDriver 80	SlideDriver 200
Part #	222 SS ST	222 EX 1.7 ST	222 E ST	222 X3 ST	222 X1 ST	444 XS ST
Duty Cycle	Continuous					
Horsepower	1 hp UPS model: 2 hp	2 hp	1 hp UPS model: 2 hp	2 hp	2 hp	5 hp
Drive	Hydraulic					
Drive Wheels	Two 6 inch (15 cm) AdvanceDrive wheels	Two 6 inch (15 cm) AdvanceDrive wheels	Two 6 inch (15 cm) AdvanceDrive wheels	Two 8 inch (20 cm) AdvanceDrive wheels	One 8 inch (20 cm) AdvanceDrive wheel, One 8 inch XtremeDrive wheel and 27 ft (8 m) of rack	Two 8 inch (20 cm) AdvanceDrive wheels, Two 8 inch XtremeDrive wheels and 52 ft (16 m) of rack
Gate Weight Max.	1,500 lb (680 kg)	3,000 lb (1,361 kg)	4,000 lb (1,814 kg)	5,000 lb (2,268 kg)	8,000 lb (3,629 kg)	20,000 lb (9,072 kg)
Gate Length Max.	Limited only by weight					
Drawbar Pull	300 lb (136 kg)	300 lb (136 kg)	300 lb (136 kg)	300 lb (136 kg)	600 lb (272 kg)	1,200 lb (544 kg)
Rate of Travel	1 ft/s (30 cm/s)	1.7 ft/s (50 cm/s)	1 ft/s (30 cm/s)	Field adjustable, 2.2 ft/s (70 cm/s) or 3 ft/s (91 cm/s) Emergency Fast Operate 3 ft/s (91 cm/s)	1 ft/s (30 cm/s)	1 ft/s (30 cm/s)
Temperature Rating	-40° F to 158° F (-40° C to 70° C) No heater necessary					
1 Phase Power	115/208/230V 60 Hz 110/220V 50 Hz***	208/230V 60 Hz 220V 50 Hz***	115/208/230V 60 Hz 110/220V 50 Hz***	208/230V 60/50 Hz	208/230V 60 Hz 220V 50 Hz***	230V 60 Hz 220V 50 Hz***
3 Phase Power	208/230/460V or 575V 60Hz; 220/380/440V 50Hz***			208/230V 60/50Hz or 380/460V 60/50Hz	208/230/460V or 575V 60Hz; 220/380/440V 50Hz***	
Communication	RS-232, RS-485, Ethernet/fiber using optional HyNet™ Gateway accessory					
User Controls	Smart Touch Controller with 70+ configurable settings. Smart Touch keypad and display or a PC using S.T.A.R.T. software.					
Relays	Three configurable user relays: one 30VDC, 3A solid state and two 250VAC, 10A electromechanical; Optional Hy8Relay™ for 8 additional relay outputs					
Finish	Zinc plated with powder coating					
Listed to UL 325	Usage Class I, II, III, IV	Usage Class III, IV	Usage Class I, II, III, IV	Usage Class III, IV	Usage Class III, IV	Usage Class III, IV
Warranty	5 year					
Additional Models						
DC Power Supply*	SlideDriver 15 UPS	SlideDriver 30F UPS	SlideDriver 40 UPS	-	SlideDriver 80 UPS	SlideDriver 200 UPS**
AC Power Supply with HyInverter*	SlideDriver 15 with HyInverter	-	SlideDriver 40 with HyInverter	SlideDriver 50VF2/3 with HyInverter	-	-
Correctional Facility	-	SlideDriver 30F-C	SlideDriver 40-C	SlideDriver 50VF2/3-C	SlideDriver 80-C	SlideDriver 200-C
Modular	SlideDriver 15-M	SlideDriver 30F-M	SlideDriver 40-M	SlideDriver 50VF2/3-M	SlideDriver 80-M	SlideDriver 200-M

* 3,000 ft/hr expected duty cycle. The operator's normal duty cycle and the actual number of gate cycles available from battery depends upon gate resistance to travel, cycle length, battery size, state of charge, and health, ambient temperature, accessory power draw and frequency of gate cycles during power outage.
 ** SlideDriver 200 UPS has a 2,000 ft/hr expected duty cycle. Actual duty cycle depends on site specific conditions and gate configuration.
 *** Refer to Installed Options on pricing for all 50Hz voltages and 575V 3Ø, which are special order.
 † 115V DC Power Supply requires a 30A branch circuit. Choose voltage with care as chargers are not field convertible.

To enable fully automatic operation, all SLIDE gate operators require a minimum of TWO monitored external entrapment protection sensors (one for each direction) to protect entrapment zones in both the open and close direction of travel. Visit www.hysecurity.com/gatesafety for more information on UL 325 standards and gate safety.

OPTIONAL ACCESSORIES: Hy5B™ intelligent vehicle detectors, 12 in (30 cm) base extension, tamper proof heavy gauge cover, cabinet lock, solenoid lock, Fire and Emergency Access Lock Box, heater, strobe light, photo eye, snowbrush and scraper kit, XtremeDrive rack kit, custom colors, HyNet Gateway and more.

SYSTEM DESIGN SUPPORT: Contact HySecurity for CAD drawings, tech manuals, help with custom site requirements or other specifications support. Call to speak with a HySecurity representative today.

VISIT WWW.HYSECURITY.COM for specifications, installation manuals, wiring diagrams, parts diagrams, image gallery, videos, training and much more.

Distributed by:



Contact HySecurity/Nice Regional Sales Manager for an operator/parts distributor near you.
 phone 253-867-3700 | 800-321-9947 | www.hysecurity.com | orders@hysecurity.com



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Project Owner

Village of Kimberly
 Kimberly Street and Parks Department Facility

426 W. Kimberly Avenue
 Kimberly, WI 54136

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SEH Project: KIMBV 171196
 Checked By: BLH
 Drawn By: JWS

Project Status: Issue Date

SITE PLAN REVIEW: 12-18-2023

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE

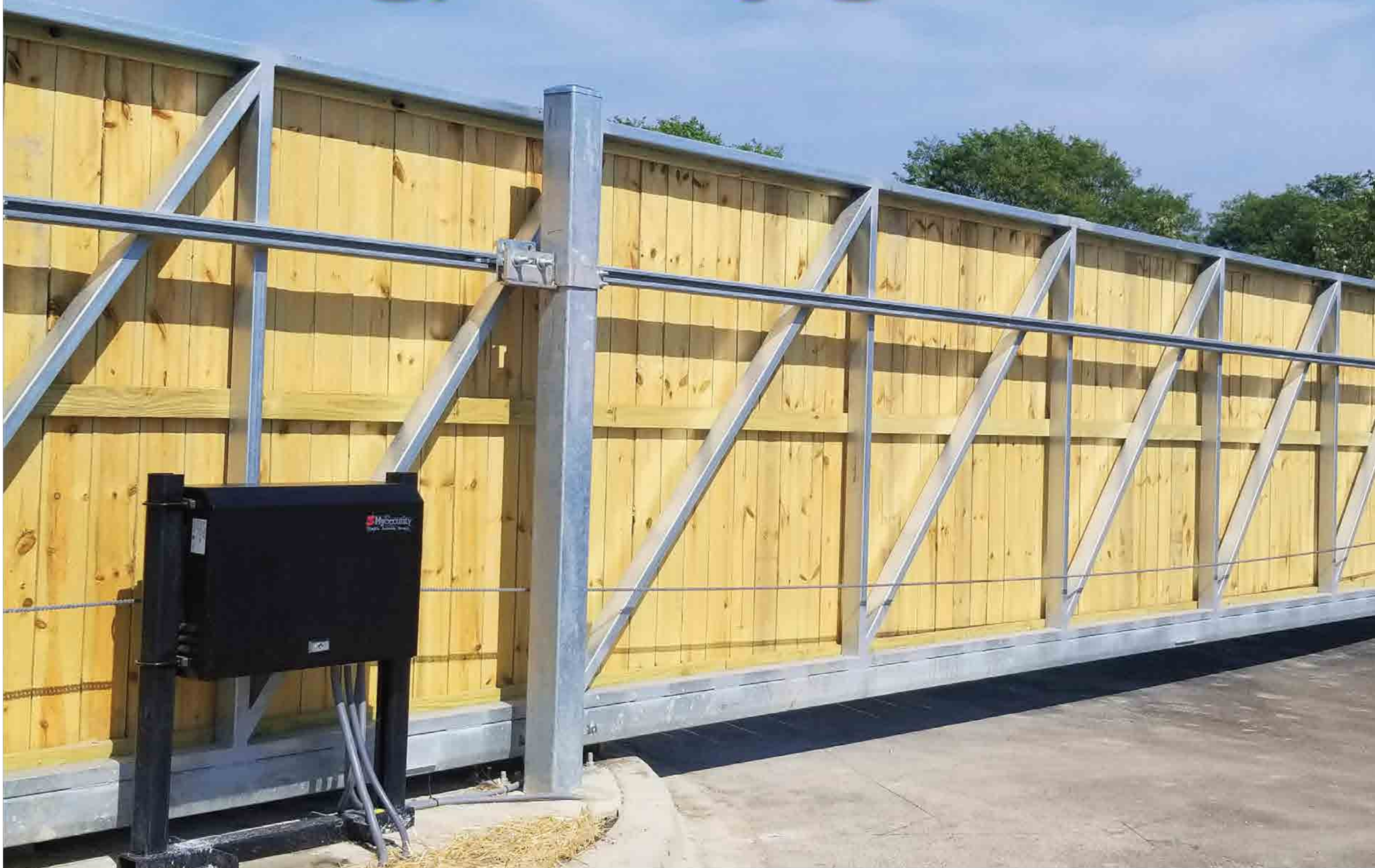
SITE DETAILS

C604

SlideSmart™ HD



Cycle big, heavy gates



Heavy duty. Commercial.

Quick and easy install

Long life slide gate operator with best in class controller and battery backup.



Move up to 3,000 lb/50 ft gate



HD15F moves your gate fast



Rodent proof heavy duty enclosure



Intelligent charging system, monitors battery condition to maximize battery life



Keep your gate moving after power loss: up to 4,000 ft/standard batteries and 25,000 ft/extended batteries



Easy system troubleshooting with onboard event log



Field Programmable to specific site requirements



Easily retrofit similar profile operators out-of-the-box



Real time system security alerts with optional HyNet™ Gateway



5 year warranty



Optional base extension and retrofit adapter

Family Traits

- Best in class Smart DC™ controls
- 24VDC with battery backup
- Seamless operation with HySecurity accessories
 - HyNet™
 - Hy5B™
- 5 year warranty

Distinctive Features

- For BIG gates up to 3,000 lb
- Sturdy steel enclosure
- Side mount posts
- Fast model available



Nice 7251/7351 Residential



SlideSmart CNX Commercial



SlideSmart HD Commercial/Industrial



SlideDriver Industrial



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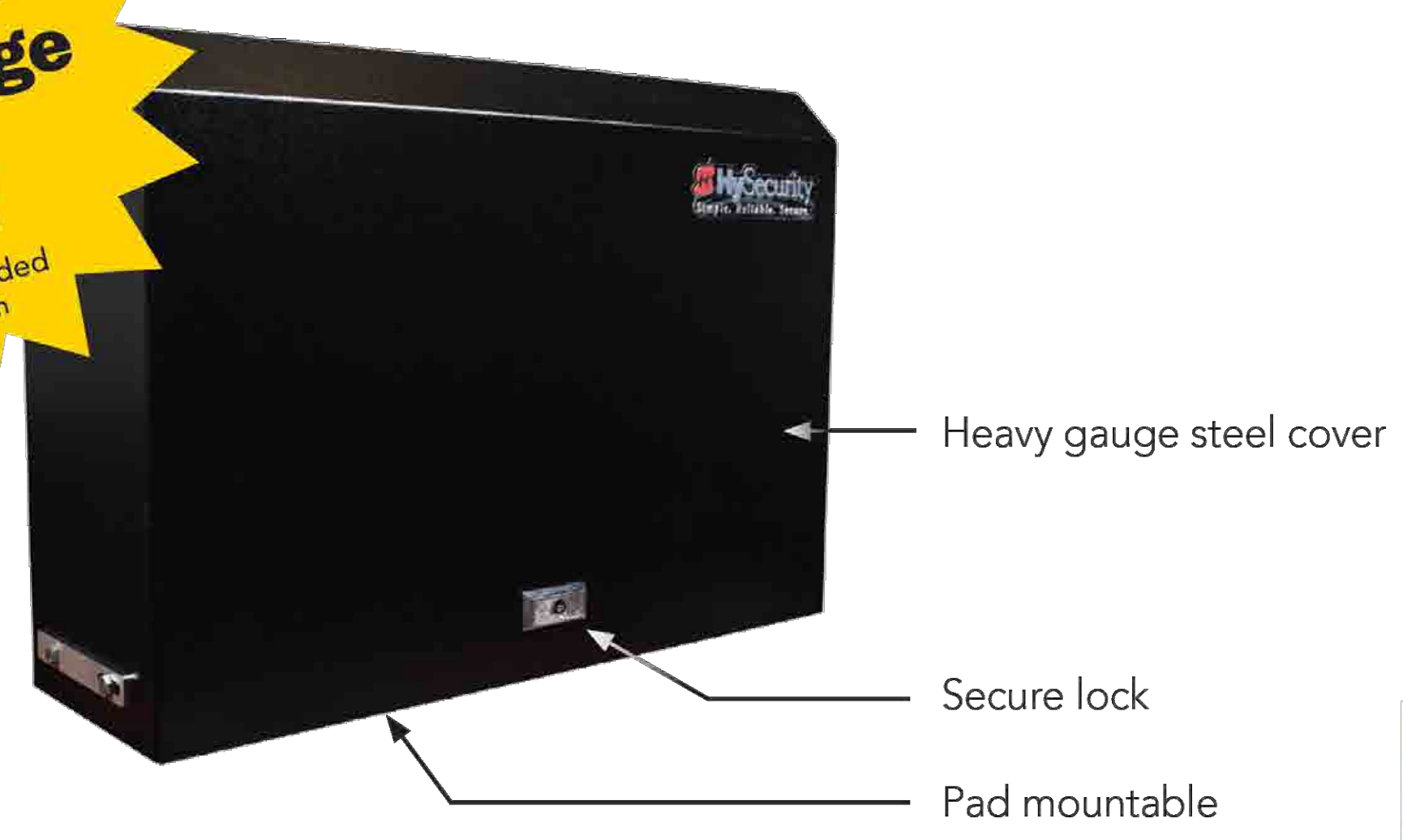
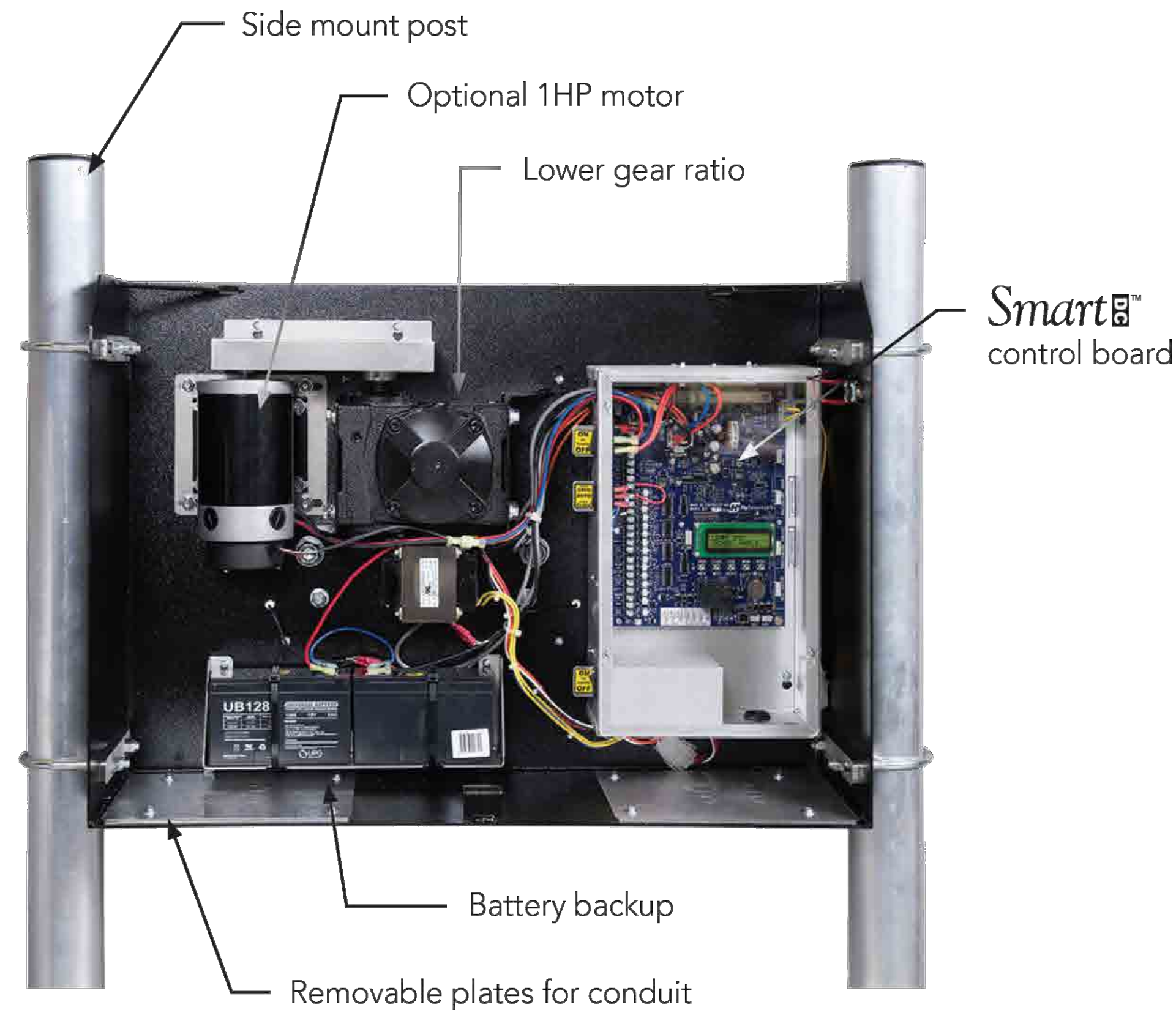
SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE
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SITE DETAILS

Battery Backup. Low maintenance.



Residential and Commercial



Slide Gate Operator

SYSTEM DESIGN SUPPORT: Contact Nice/HySecurity for help with custom site requirements, CAD drawings, tech manuals or other specifications support.

VISIT HYSECURITY.COM for installation manuals, parts diagrams, wiring diagrams, specifications, image gallery, videos, training and much more.

3 SlideSmart™ HD Models

Model	FAST		
	SlideSmart DC HD15F	SlideSmart DC HD25	SlideSmart DC HD30
Gate Weight Max.	1,500 lb (680 kg)	2,500 lb (1,134 kg)	3,000 lb (1,361 kg)
Gate Length Max.	50 ft (15 m)		
Pull Force*	300 lb	450 lb	500 lb
Rate of Travel	1.75, 2 or 2.25 ft/s (53, 61 or 69 cm/s) Open/Close speed set independently	0.75, 1 or 1.25 ft/s (23, 30 or 38 cm/s) Open/Close speed set independently	
Duty Cycle	Continuous		
Horsepower	1 hp	1/2 hp	1 hp
Drive	Electromechanical		
UPS Battery Backup Cycles †	Field configurable to fail open or secure when batteries deplete. Standard battery backup gate travel: Two 8Ah batteries. Up to 4,000 ft (1,219 m) after AC power loss. Extended battery backup gate travel: Two 50Ah batteries. Up to 25,000 ft (7,620 m) after AC power loss.		
Temperature Rating	-13° to 158° F (-25° to 70° C)		
Operating Voltage	24VDC		
Input Voltage	115V or 208-230V, 60/50 Hz		
Accessory Power	12VDC and 24VDC 1A each		
Communication	USB, RS-232, RS-485. Ethernet/fiber using optional HyNet™ Gateway accessory		
User Controls	Smart DC Controller with 70+ configurable settings. 32 character LCD display and 5 tact buttons or a PC using S.T.A.R.T. software.		
Relays	Two configurable user relays: 30VDC, 3A solid state and 250VAC, 10A electromechanical; Optional Hy8Relay™ for 8 additional relay outputs		
Finish	Zinc rich primer and black powder coated steel cover/chassis		
ETL Listed (UL 325)	Usage Class III, IV***	Usage Class I, II, III, IV**	
Cycle Tested	500,000 cycles		
Warranty	5 year w/product registration	5 year (7 year single-family residential) w/product registration	

* HySecurity manufactures only reliable and powerful gate operators and provides an extra margin of power to be certain the gate works in adverse conditions. Some manufactures overstate the length and weight capacity of their operators, but HySecurity rates conservatively. Note that our pull force ratings are substantial and that extra margin of power is part of the HySecurity reputation for reliability.

** Speed setting cannot be configured to exceed 1 ft/s for Class I and II usage.

***Not for residential use or applications intended to serve the general public.

† The actual number of gate cycles available from battery depends upon gate resistance to travel, cycle length, battery size, state of charge and health, ambient temperature, accessory power draw and frequency of gate cycles during power outage.

To enable fully automatic operation, all SLIDE gate operators require a minimum of TWO monitored external entrapment protection sensors (one for each direction) to protect entrapment zones in both the open and close direction of travel. Visit www.hysecurity.com/gatesafety for more information on UL 325 standards and gate safety.

Optional Accessories - See website for complete list



Contact Nice | HySecurity for an operator/parts distributor near you.
phone 253-867-3700 | 800-321-9947
hysecurity.com | sales@hysecurity.com

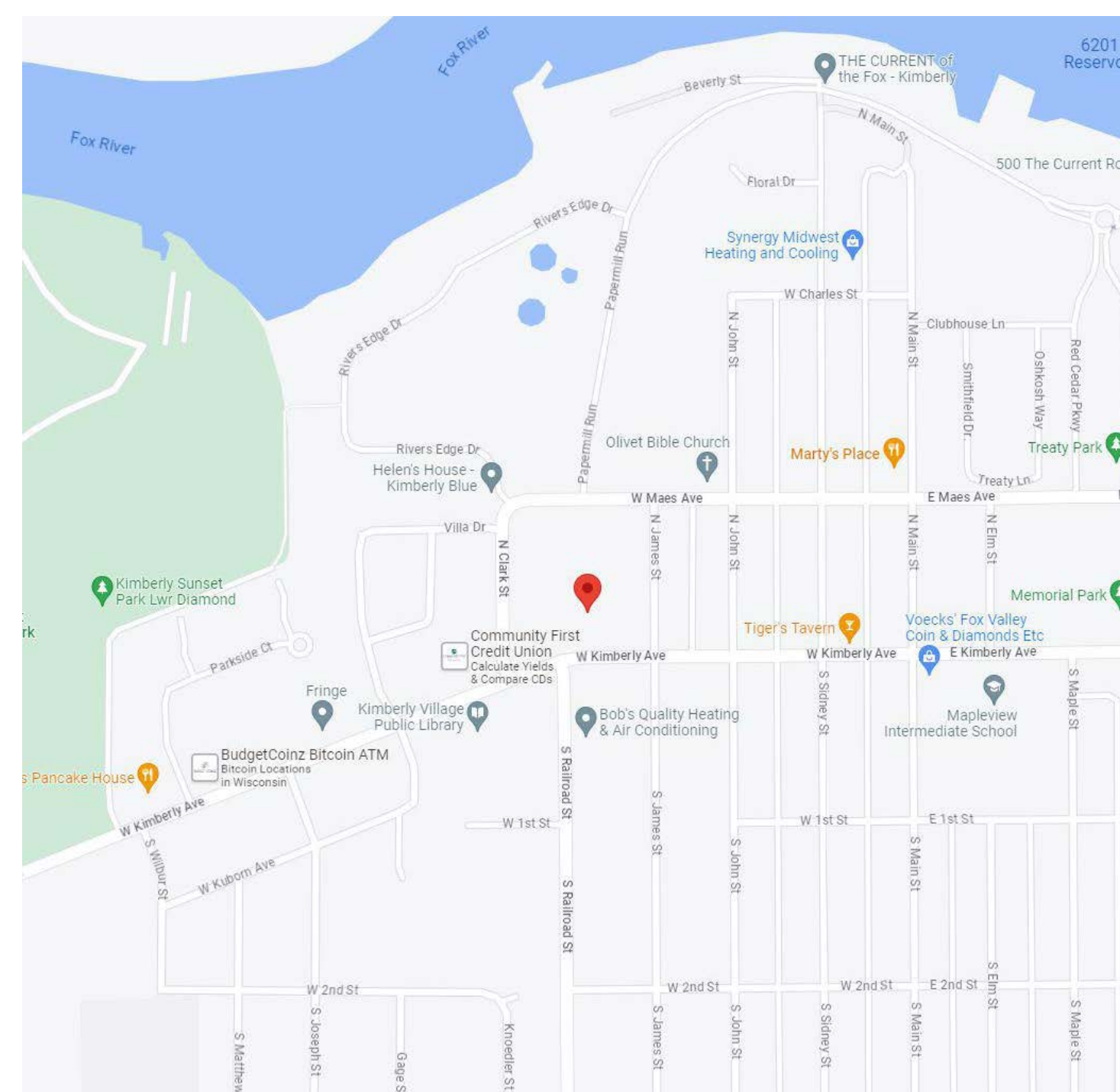


VILLAGE OF KIMBERLY MUNICIPAL SERVICES CENTER

426 WEST KIMBERLY AVENUE
KIMBERLY, WISCONSIN 54136

Project Owner

VICINITY MAP



LOCATION MAP



DRAWING INDEX

GENERAL

- G001 COVER SHEET
- G010 CODE PLAN

CIVIL

- C100 EXISTING CONDITIONS & DEMOLITION PLAN
- C200 SITE PLAN
- C300 GRADING & EROSION CONTROL PLAN
- C400 UTILITY PLAN
- C500 SITE DETAILS

STRUCTURAL

- S001 GENERAL STRUCTURAL ABBREVIATIONS, SYMBOLS AND TABLES
- S002 GENERAL STRUCTURAL NOTES
- S003 GENERAL STRUCTURAL NOTES
- S100 OVERALL FOUNDATION PLAN
- S110 OVERALL FIRST FLOOR FRAMING PLAN
- S120 OVERALL MEZZANINE PLAN
- S130 OVERALL ROOF FRAMING PLAN
- S400 ENLARGED FOUNDATION PLAN - OFFICE
- S401 ENLARGED FOUNDATION PLAN - WEST GARAGE
- S402 ENLARGED FOUNDATION PLAN - EAST GARAGE
- S410 ENLARGED BRIDGE CRANE FRAMING PLAN AND DETAILS
- S420 ENLARGED MEZZANINE FRAMING PLANS
- S430 ENLARGED ROOF FRAMING PLAN - OFFICE
- S431 ENLARGED ROOF FRAMING PLAN - WEST GARAGE
- S432 ENLARGED ROOF FRAMING PLAN - EAST GARAGE
- S501 FOUNDATION DETAILS
- S502 FOUNDATION DETAILS
- S503 FOUNDATION DETAILS
- S521 MASONRY DETAILS
- S522 MASONRY DETAILS
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- S532 PRECAST DETAILS
- S541 STEEL DETAILS
- S542 STEEL DETAILS
- S543 STEEL DETAILS
- S544 STEEL DETAILS
- S545 STEEL DETAILS

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- A004 ADA DETAILS
- A011 PARTITION TYPES AND CONSTRUCTION ASSEMBLIES
- A051 ARCHITECTURAL SITE PLAN
- A061 ENLARGED SITE PLANS AND DETAILS
- A101 OVERALL FLOOR PLAN
- A111 FLOOR PLANS
- A112 FLOOR PLANS
- A113 ROOF PLAN
- A151 REFLECTED CEILING PLAN - LEVEL 1
- A152 ENLARGED REFLECTED CEILING PLAN - LEVEL 1
- A201 EXTERIOR ELEVATIONS
- A210 3D VIEWS
- A301 BUILDING SECTIONS
- A302 BUILDING SECTIONS
- A311 WALL SECTIONS
- A312 WALL SECTIONS
- A313 WALL SECTIONS
- A414 VERTICAL CIRCULATION
- A420 ENLARGED PLANS
- A421 INTERIOR ELEVATIONS
- A422 ENLARGED PLANS AND INTERIOR ELEVATIONS
- A423 ENLARGED PLANS AND INTERIOR ELEVATIONS
- A424 INTERIOR ELEVATIONS
- A501 DETAILS
- A502 DETAILS
- A503 DETAILS
- A504 DETAILS
- A505 DETAILS
- A506 DETAILS
- A507 DETAILS
- A601 DOOR SCHEDULE / DOOR, FRAME AND WINDOW ELEVATIONS
- A611 ROOM FINISH SCHEDULE

MECHANICAL

- H001 SCHEDULES
- H002 SCHEDULES
- H003 SCHEDULES
- H201 OFFICE DUCTWORK PLAN
- H202 WEST GARAGE DUCTWORK PLAN
- H203 EAST GARAGE DUCTWORK PLAN
- H301 OFFICE PIPING PLAN
- H302 WEST GARAGE PIPING PLAN
- H303 EAST GARAGE PIPING PLAN
- H401 MEZZANINE DUCTWORK PLANS
- H402 MEZZANINE PIPING PLANS
- H403 OVERALL ROOF PLAN
- H501 DETAILS
- H502 DETAILS

PLUMBING

- P000 GENERAL NOTES
- P101 FOUNDATION PLANS - OFFICE
- P102 FOUNDATION PLANS - SHOP
- P103 FOUNDATION PLANS - GARAGE
- P200 OVERALL FLOOR PLANS
- P201 FLOOR PLANS - OFFICE
- P202 FLOOR PLANS - SHOP
- P203 FLOOR PLANS - GARAGE
- P204 MEZZANINE PLANS
- P300 ROOF PLANS
- P401 ISOMETRIC - DOMESTIC WATER - OFFICE
- P402 ISOMETRIC - DOMESTIC WATER - SHOP
- P403.1 ISOMETRIC - DOMESTIC WATER - GARAGE
- P403.2 ISOMETRIC - DOMESTIC WATER - GARAGE (CONT.)
- P411 ISOMETRIC - SANITARY DWV - OFFICE
- P412 ISOMETRIC - SANITARY DWV - SHOP
- P413.1 ISOMETRIC - SANITARY DWV - GARAGE
- P413.2 ISOMETRIC - SANITARY DWV - GARAGE (CONT.)
- P421 ISOMETRIC - STORM DWV - OFFICE
- P422 ISOMETRIC - STORM DWV - SHOP
- P423.1 ISOMETRIC - STORM DWV - GARAGE
- P423.2 ISOMETRIC - STORM DWV - GARAGE (CONT.)
- P432 ISOMETRIC - PROCESS - SHOP
- P433.1 ISOMETRIC - PROCESS - GARAGE
- P433.2 ISOMETRIC - PROCESS - GARAGE (CONT.)
- P600 DETAILS
- P601 DETAILS
- P700 SCHEDULE

ELECTRICAL

- E001 ELECTRICAL SYMBOLS AND ABBREVIATIONS
- E002 ELECTRICAL SITE PLAN - DEMO
- E003 ELECTRICAL SITE PLAN - NEW
- E100 TEST SHEET
- E100 OVERALL PLANS
- E101 FIRST FLOOR PLANS - OFFICE - LIGHTING & POWER
- E102 FIRST FLOOR PLAN - GARAGE - LIGHTING
- E103 FIRST FLOOR PLAN - GARAGE - POWER
- E104 FIRST FLOOR PLANS - SHOP - LIGHTING & POWER
- E201 MEZZANINE PLANS - LIGHTING
- E202 MEZZANINE PLANS - POWER
- E300 OVERALL PLANS - FIRE ALARM
- E301 FIRE ALARM DETAILS
- E400 ELECTRICAL DETAILS
- E401 ELECTRICAL DETAILS
- E500 ONE-LINE DIAGRAM, FEEDER SCHEDULE & DETAILS
- E501 PANEL SCHEDULES, FIXTURE SCHEDULE & MOTOR STARTER SCHEDULE

PROJECT DIRECTORY

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426 W. KIMBERLY AVE.
KIMBERLY, WI 54123

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VILLAGE OF KIMBERLY
MUNICIPAL SERVICES CENTER
426 WEST KIMBERLY AVENUE
KIMBERLY, WISCONSIN 54136

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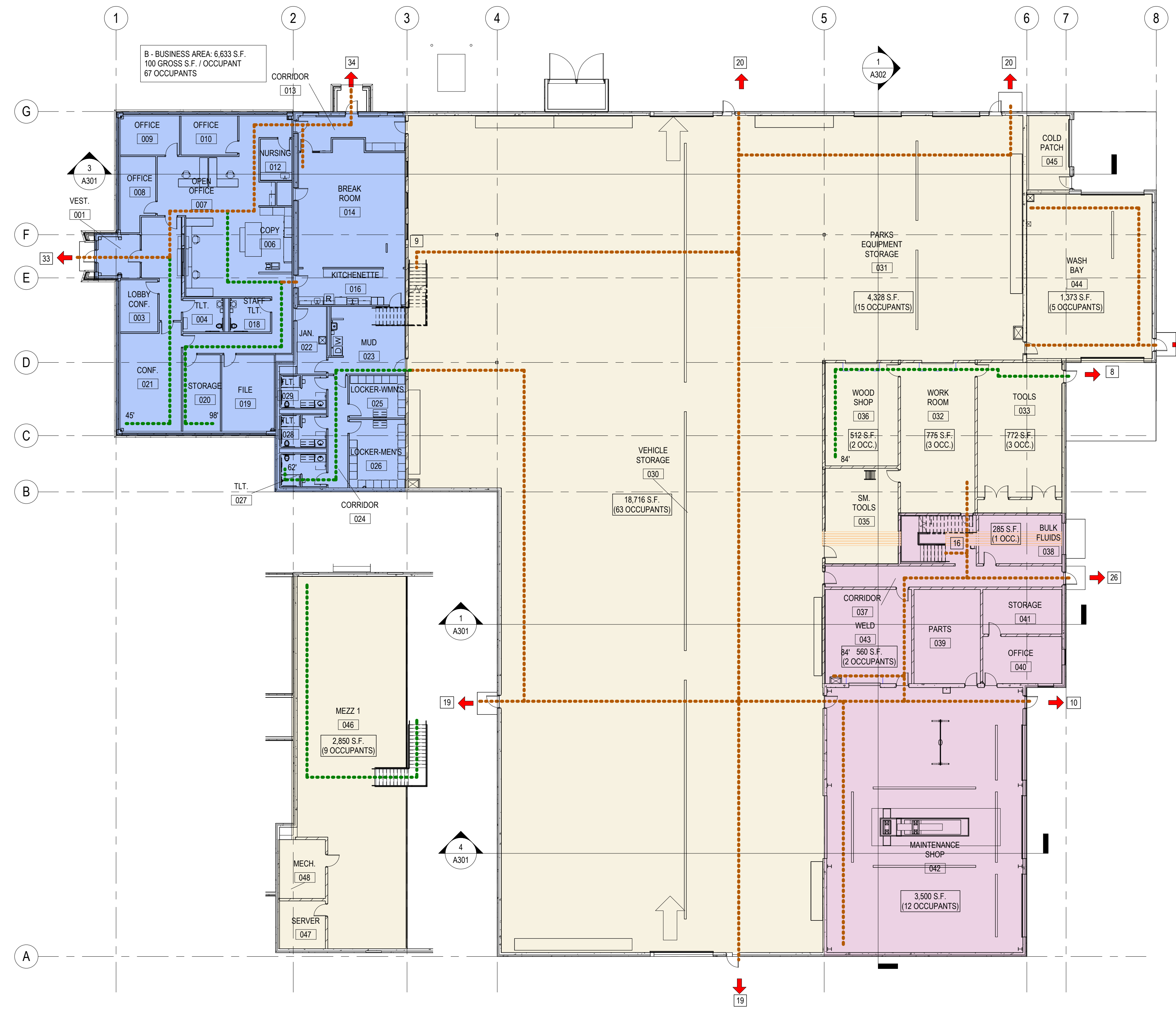
SEH Project KIMBY 171196
Checked By TIF
Drawn By MRC

Project Status Issue Date

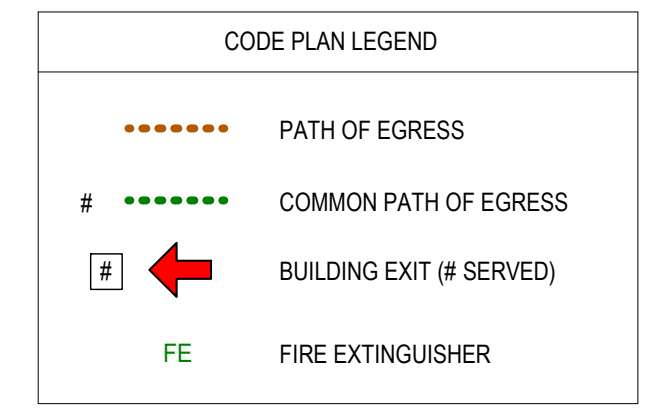
REVISION SCHEDULE
REV. # DESCRIPTION DATE

COVER SHEET

G001



2 FLOOR PLAN - MEZZANINE 1
G010 1/16" = 1'-0"



PLUMBING FIXTURES

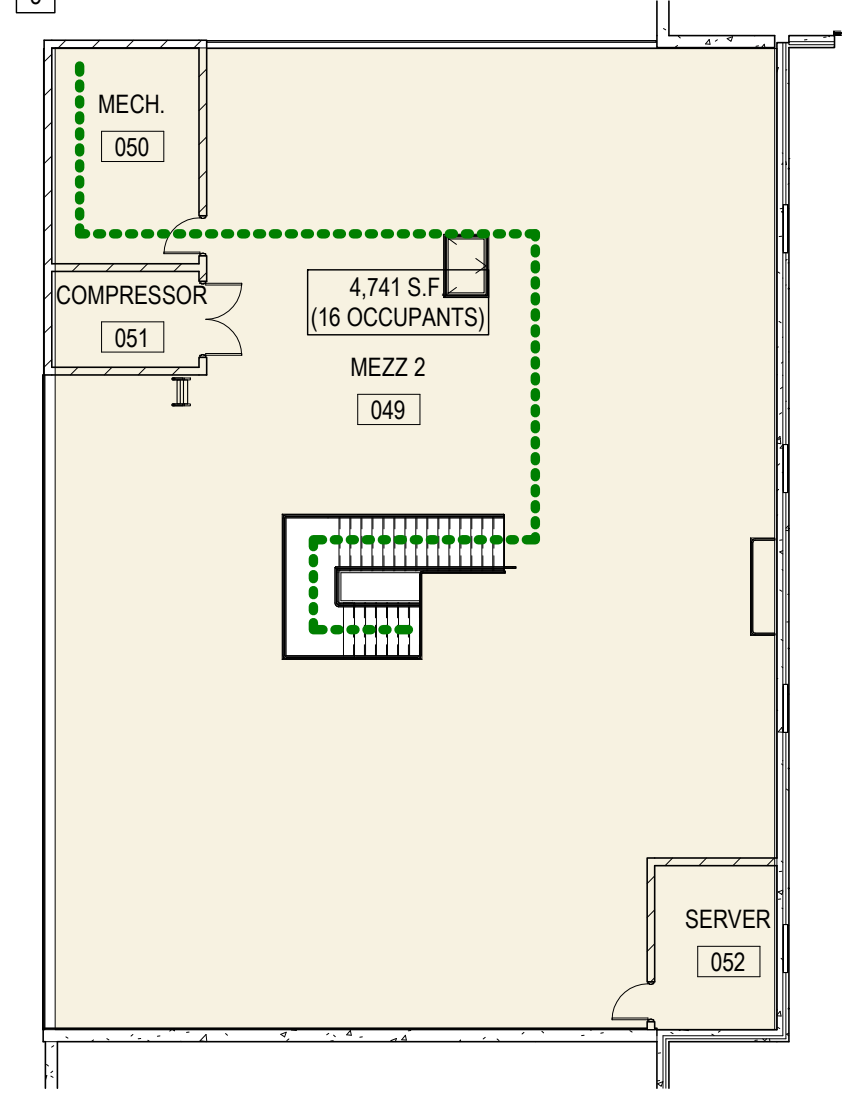
194 OCCUPANTS PER CODE
ACTUAL: 50 MAXIMUM OCCUPANTS

MEN: 25 MAXIMUM ACTUAL
1 PER 25 FOR THE FIRST 50
1 REQUIRED (2 PROVIDED)

WOMEN: 25 MAXIMUM ACTUAL
1 PER 25 FOR THE FIRST 50
1 REQUIRED (1 PROVIDED)

(1) ADDITIONAL UNISEX TOILET ROOM PROVIDE ON EMPLOYEE SIDE OF BUILDING

ONE TOILET PROVIDED FOR VISITING PUBLIC (P) 2902.2 Separate facilities. Exceptions: Separate facilities shall not be required with a total occupant load, including both employees and customers, of 15 or fewer



3 FLOOR PLAN - MEZZANINE 2
G010 1/16" = 1'-0"

1 CODE PLAN - GROUND LEVEL
G010 1/16" = 1'-0"



PROJECT DESCRIPTION

Full demolition of the existing the Municipal Services Center building and the construction of a new 40,481 s.f. building on the same site. The main function of the building is vehicle and mechanical equipment storage and maintenance. The Village office area contains a public side for periodic visitation from the public for transactions and inquiries.

Building is fully sprinklered

Ground Level Area: 40,481 s.f.
Mezzanine #1 Area: 2,983 s.f.
Mezzanine #2 Area: 5,026 s.f.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

Occupancy: Types:

- Type: B (Office Area): 6,633 s.f.
- Type: S-1 (Repair Garage): 6,019 s.f.
- Type S-2 (Storage Garage, Wash Bay): 27,829 s.f.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

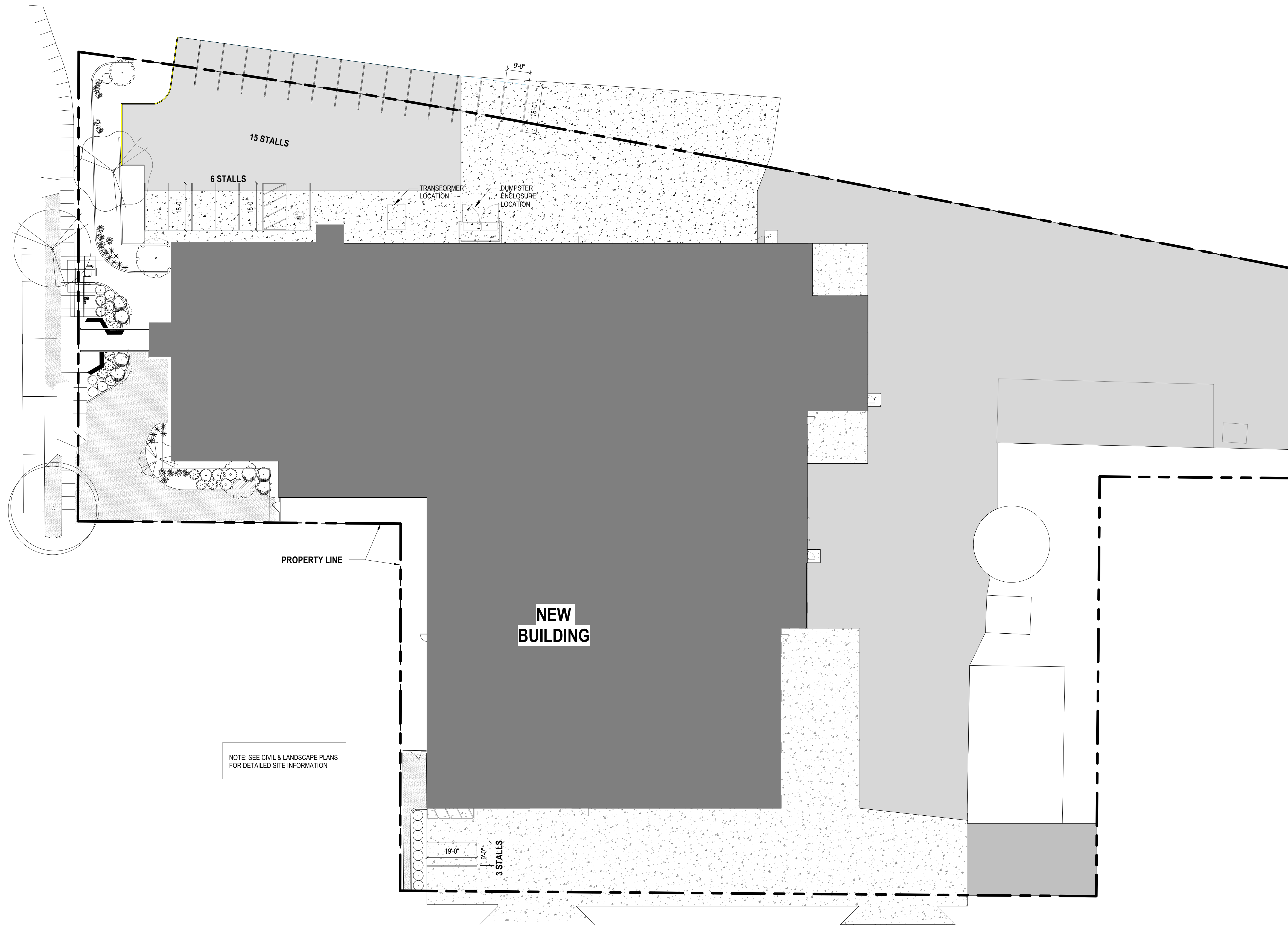
Construction Type: Type IIB

Table 503 Allowable Building Heights and Areas (Type IIB)

B	92,000 s.f.
S-1	70,000 s.f. (Most Restrictive)
S-2	104,000 s.f.

TABLE 1006.2.1
Spaces with one exit
Maximum Common Path of Egress Travel Distance (Sprinklered)
Types B, S: 100 feet

TABLE 1017.2
Exist Access Travel Distance (Sprinklered)
Types B, S1: 250 feet
Type S2: 400 feet



NOTE: SEE CIVIL & LANDSCAPE PLANS
FOR DETAILED SITE INFORMATION

VILLAGE OF KIMBERLY
MUNICIPAL SERVICES CENTER

426 WEST KIMBERLY AVENUE
KIMBERLY, WISCONSIN 54136

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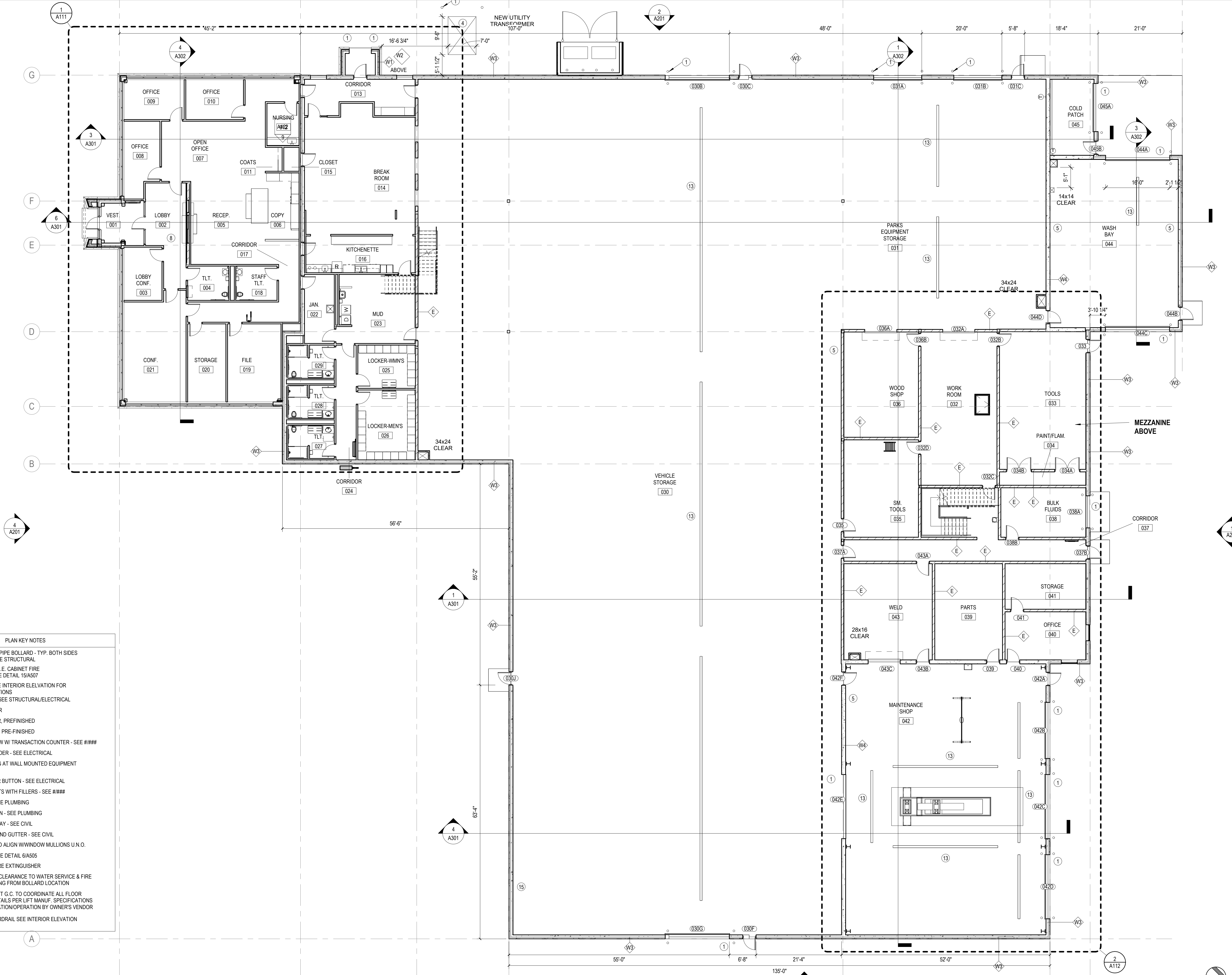
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SEH Project: KIMBY 1711196
Checked By: TMC
Drawn By: MRC

Project Status: Issue Date

REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

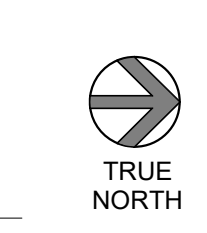
ARCHITECTURAL SITE PLAN

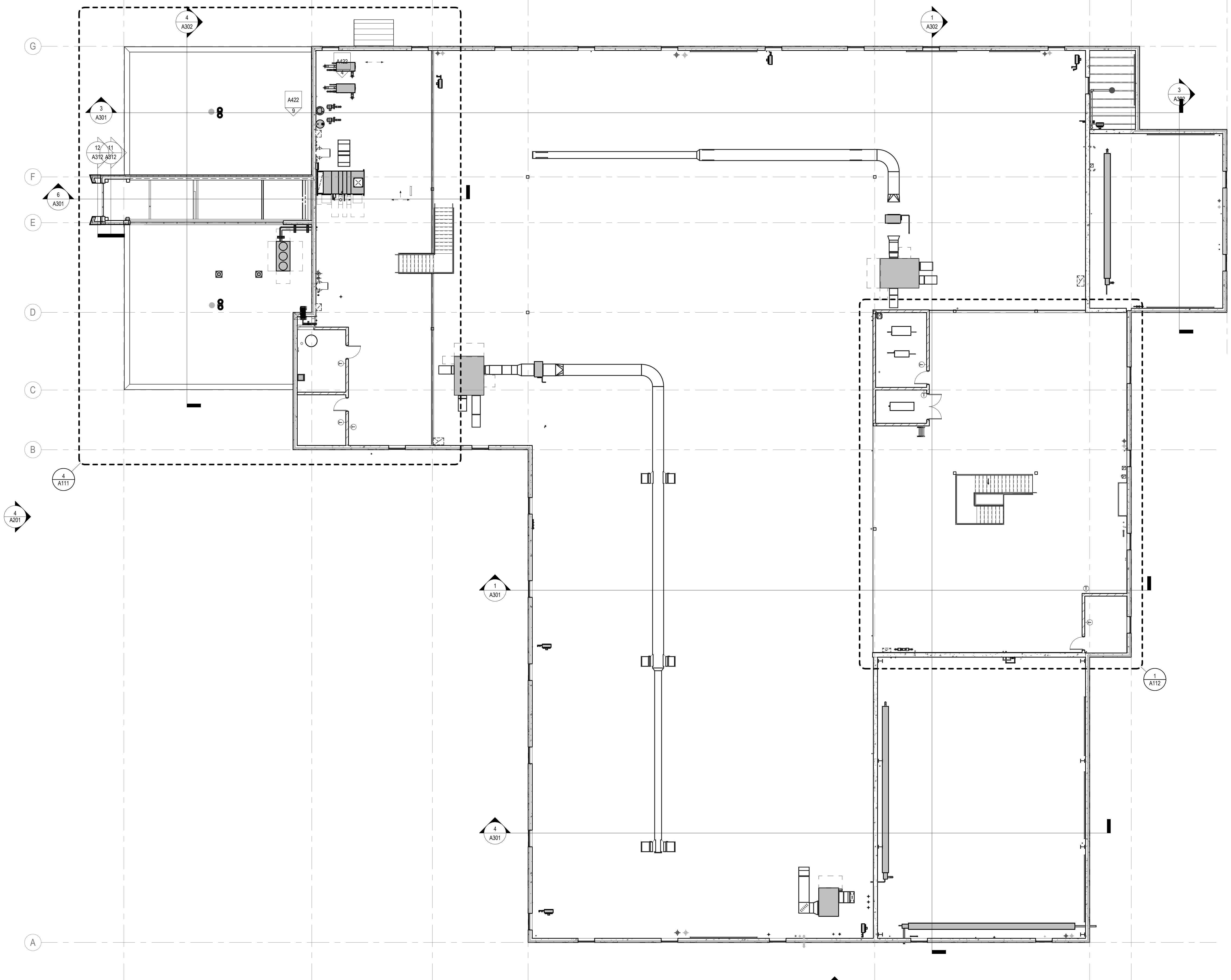


- PLAN KEY NOTES**
- 1 CONCRETE FILLED PIPE BOLLARD - TYP. BOTH SIDES OF O.H. DOORS. SEE STRUCTURAL
 - 2 SEMI - RECESSED F.E. CABINET FIRE EXTINGUISHER. SEE DETAIL 15/A507
 - 3 METAL RAILING SEE INTERIOR ELEVATION FOR REMOVEABLE SECTIONS
 - 4 CONCRETE SLAB - SEE STRUCTURAL/ELECTRICAL
 - 5 PRESSURE WASHER
 - 6 MTL. ROOF GUTTER, PREFINISHED
 - 7 MTL. DOWN SPOUT, PRE-FINISHED
 - 8 PASS THRU WINDOW W/ TRANSACTION COUNTER - SEE ####
 - 9 HOOK UP FOR WELDER - SEE ELECTRICAL
 - 10 PROVIDE BLOCKING AT WALL MOUNTED EQUIPMENT AND CABINETS
 - 11 ADA DOOR OPENER BUTTON - SEE ELECTRICAL
 - 12 MILLWORK CABINETS WITH FILLERS - SEE ####
 - 13 TRENCH DRAIN - SEE PLUMBING
 - 14 DRINKING FOUNTAIN - SEE PLUMBING
 - 15 CONCRETE WALKWAY - SEE CIVIL
 - 16 CONCRETE CURB AND GUTTER - SEE CIVIL
 - 17 INTERIOR WALLS TO ALIGN W/WINDOW MULLIONS U.N.O.
 - 18 SHIP'S LADDER - SEE DETAIL 6/A505
 - 19 WALL MOUNTED FIRE EXTINGUISHER
 - 20 PROVIDE MIN. 3'-0" CLEARANCE TO WATER SERVICE & FIRE SUPPRESSION PIPING FROM BOLLARD LOCATION
 - 21 DEPRESSURED LIFT PIT G.C. TO COORDINATE ALL FLOOR SLAB/PIT POUR DETAILS PER LIFT MANUF. SPECIFICATIONS FOR FULL INSTALLATION/OPERATION BY OWNER'S VENDOR
 - 22 BELOW STAIR GUARDRAIL SEE INTERIOR ELEVATION

1 FLOOR PLAN - LEVEL 1
 3/32" = 1'-0"

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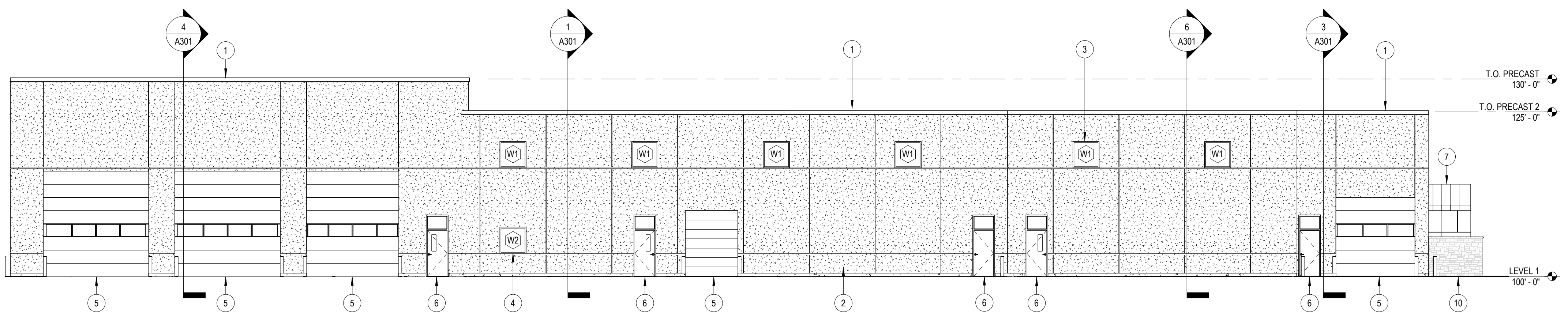
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1
A102 **MEZZANINE**
3/32" = 1'-0"

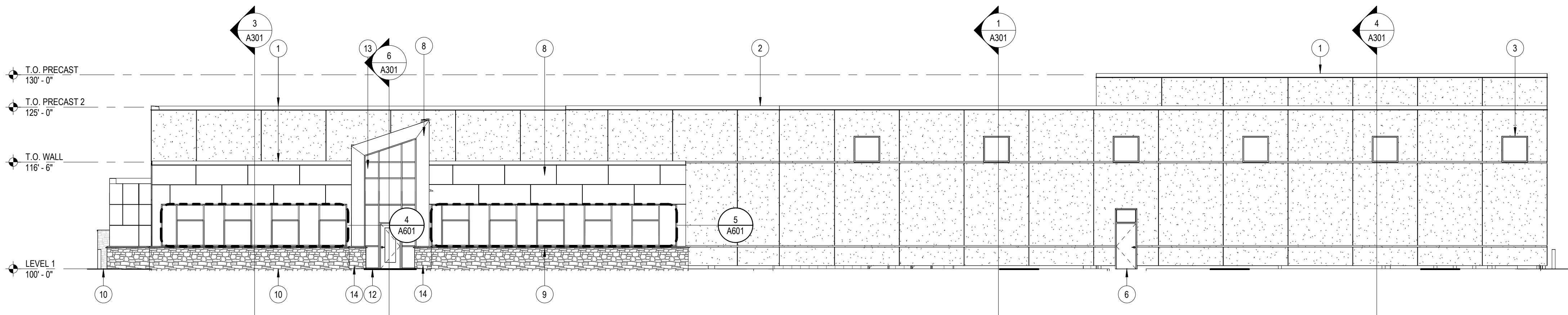


REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

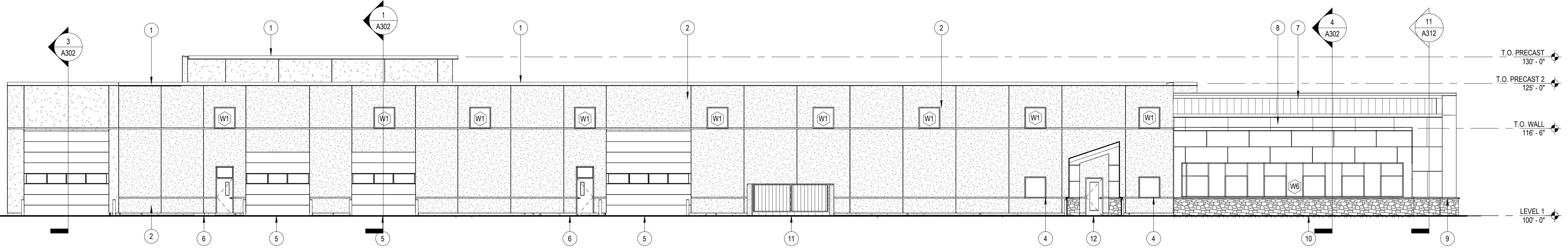
EXTERIOR ELEVATION FINISHES	
①	CONTINUOUS PERIMETER METAL PARAPET COPING - COLOR TO MATCH EXTERIOR COMPOSITE METAL PANELS
②	PRECAST CONC. WALL PANEL W/CAST-IN RECESSED BANDING. BASIS OF DESIGN: MOLINE COLOR: 3012-2 LEATHER LIGHT SANDBLAST ETCH/ LIGHT ETCH
③	POLYCARBONATE WINDOW UNIT (KAL WALL BASIS OF DESIGN) ALL WINDOWS DESIGNATED WITH W1
④	2" THERMALLY BROKEN ALUM. FRAMED WINDOW W/1" INSUL. GLASS. FACTORY PAINT FINISH TO MATCH METAL WALL PANEL & ALUM. STORE FRONT
⑤	INSULATED SECTIONAL OVERHEAD DOOR. SEE DOOR SCHEDULE FOR SIZE & TYPE
⑥	HOLLOW METAL DOOR (INSULATED) & FRAME. PAINT TO MATCH ALUM WINDOW FRAMES
⑦	STANDING SEAM METAL ROOF ON 6" NAIL BASE OVER COLD FORMED STEEL JOISTS. COLOR TO MATCH WALL PANELS
⑧	COMPOSITE ALUM. WALL PANEL. BASIS OF DESIGN ALFREXUSA.COM COLOR: CHARCOAL, PATRIOT RED
⑨	ARCH. PRECAST SILLS. BASIS OF DESIGN: CUSTOM STONE WORKS COLOR: FAWN TAN
⑩	BASE COURSE MASONRY BASIS OF DESIGN: COUNTY MATERIAL REFLECTION STONE COLOR: ENCHANTMENT
⑪	DUMPSTER ENCLOSURE SEE DETAILS SHEET A501
⑫	ALUM. STORE FRONT FRAMING & ENTRANCE DOOR. FACTORY FINISHED TO MATCH METAL WALL PANELS
⑬	ALUM. CURTAIN WALL FRAMING W/1" INSUL. GLAZING GLASS BASIS OF DESIGN: OLD CASTLE SOLARBAN 100VT COLOR: BRONZE TP-2
⑭	DATE STONE & TIME CAPSULE. SEE DETAIL 9/A503



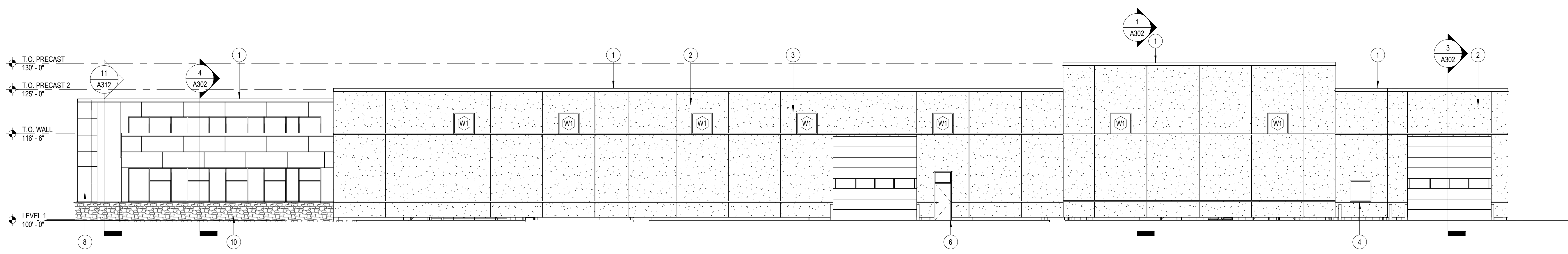
①
A201
3/32" = 1'-0"



④
A201
3/32" = 1'-0"

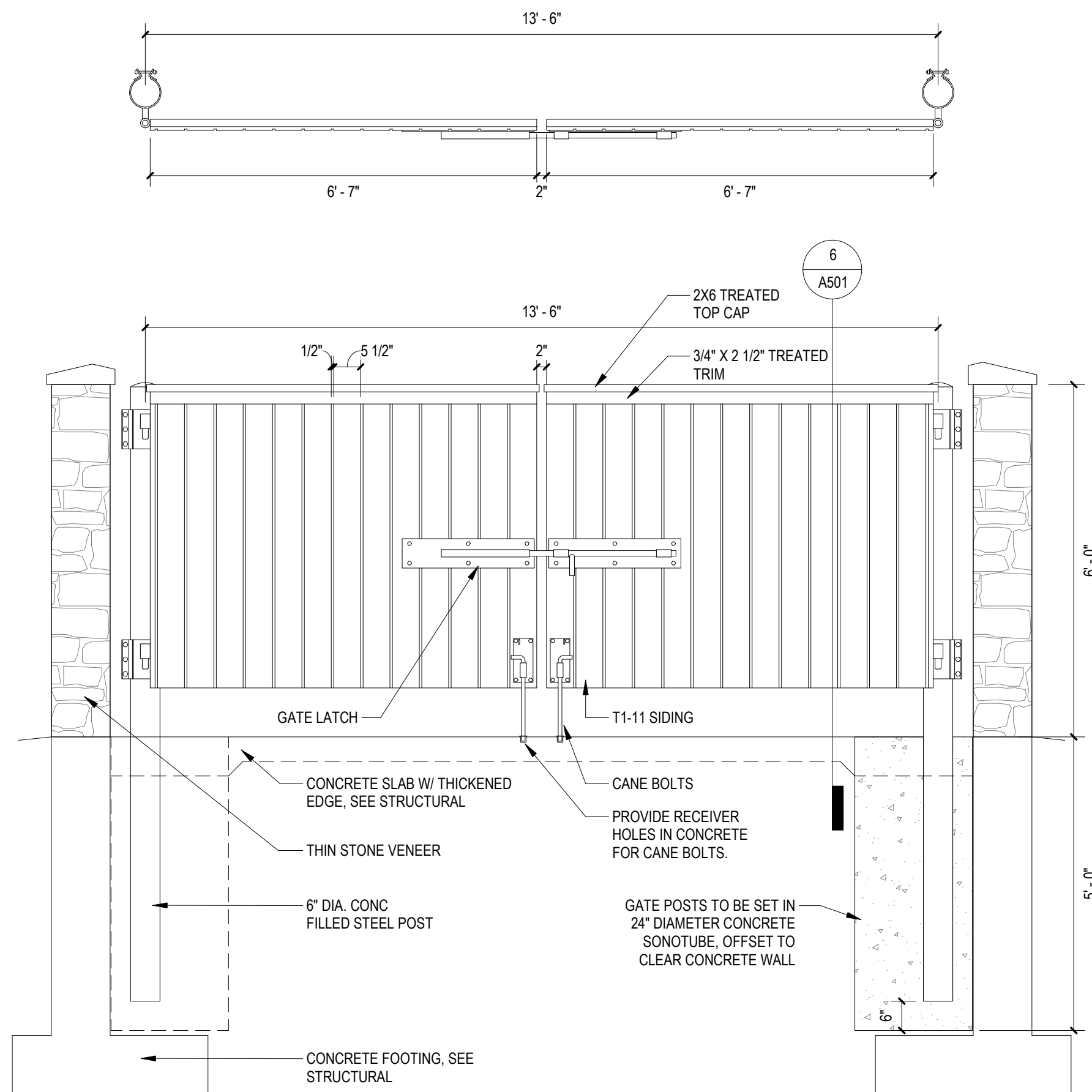


②
A201
3/32" = 1'-0"

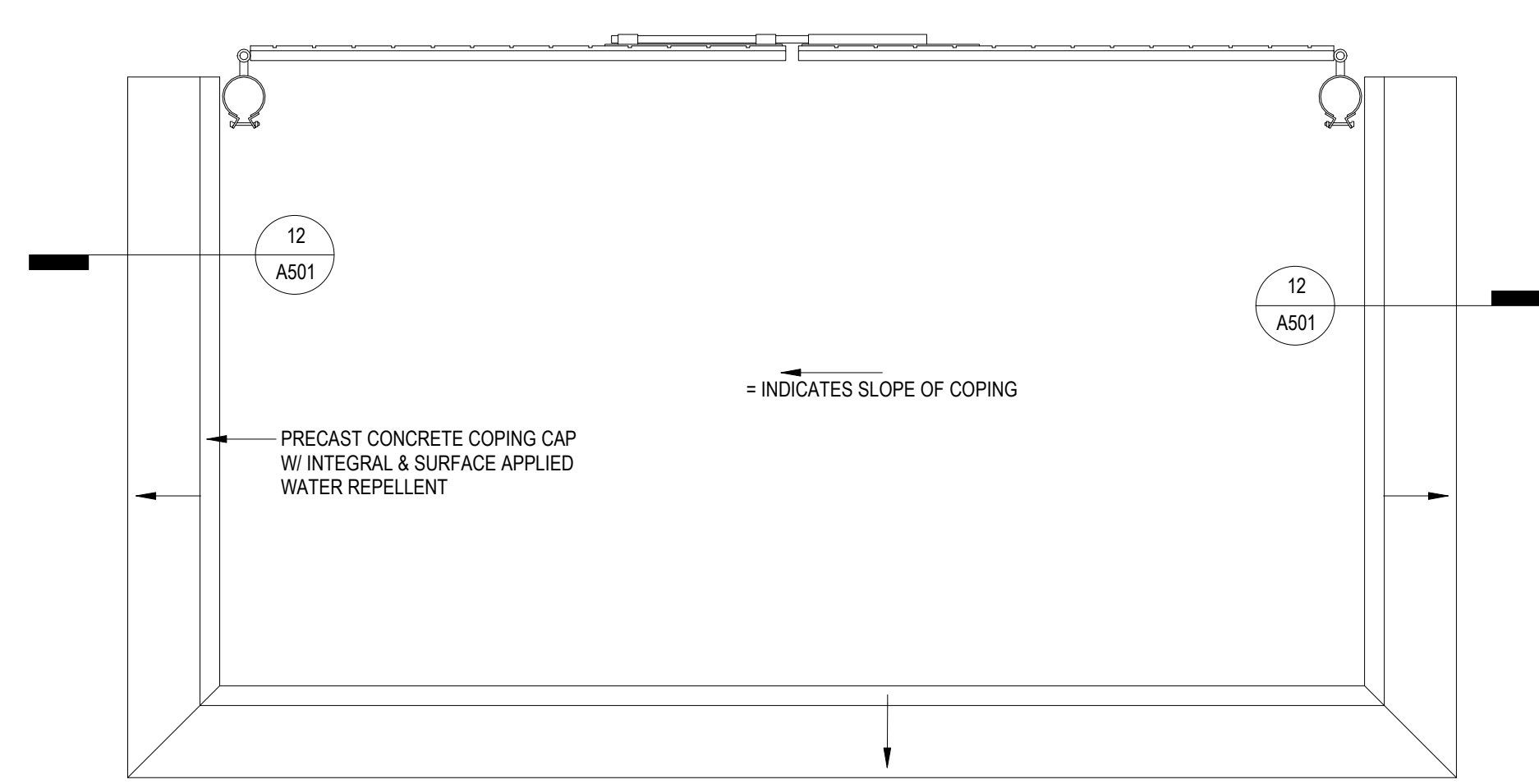


⑤
A201
3/32" = 1'-0"

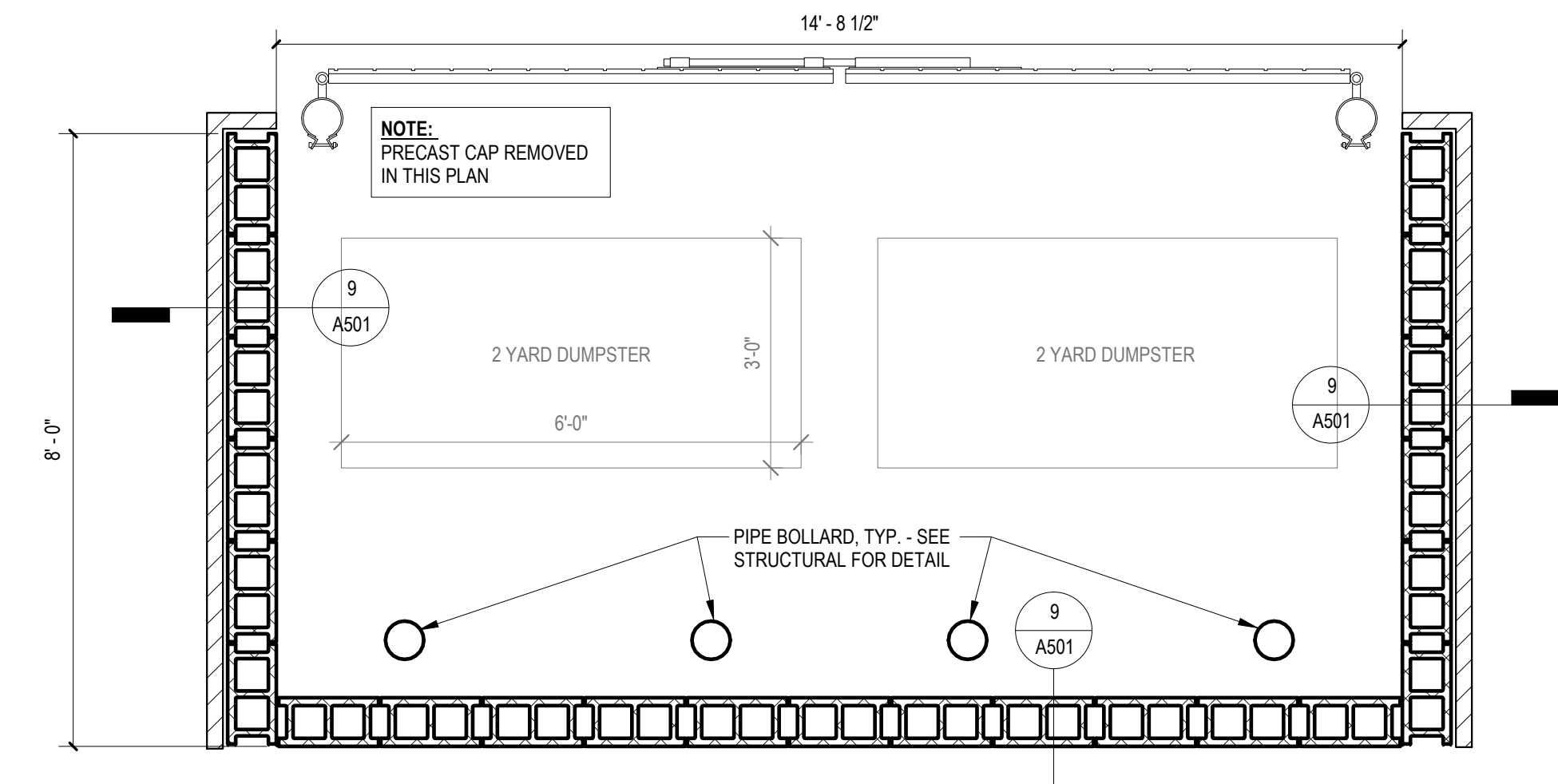
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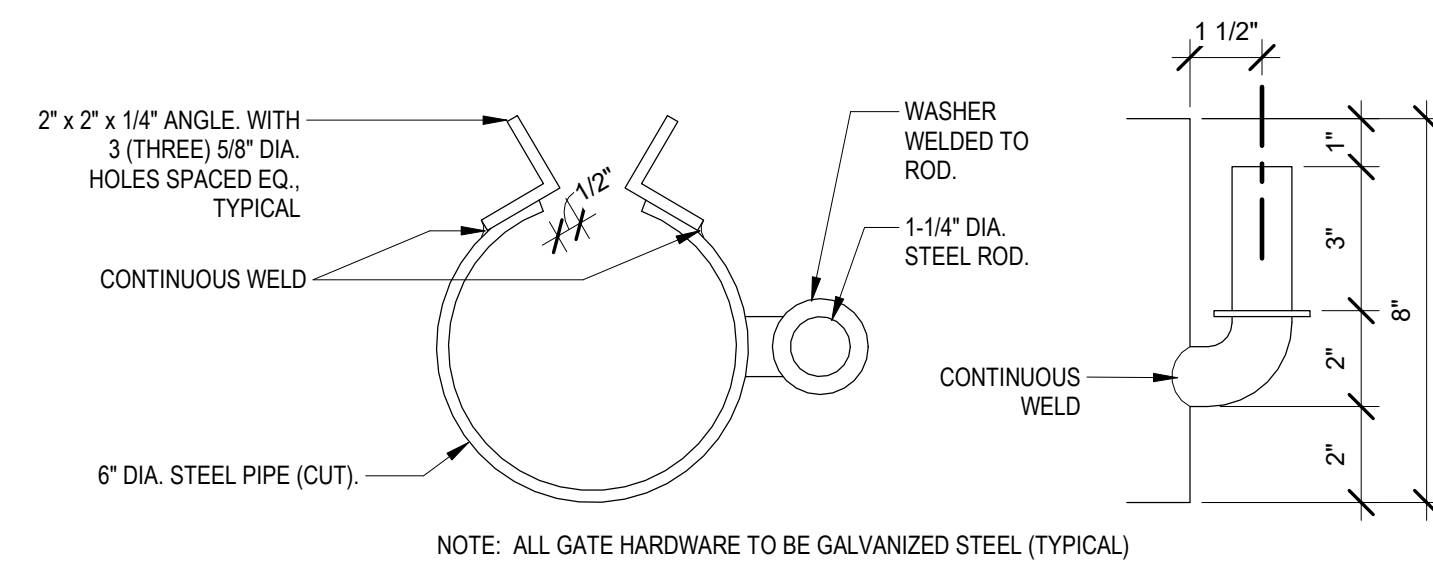
1 DUMPSTER ENCLOSURE - FRONT ELEVATION
A501 1/2" = 1'-0"



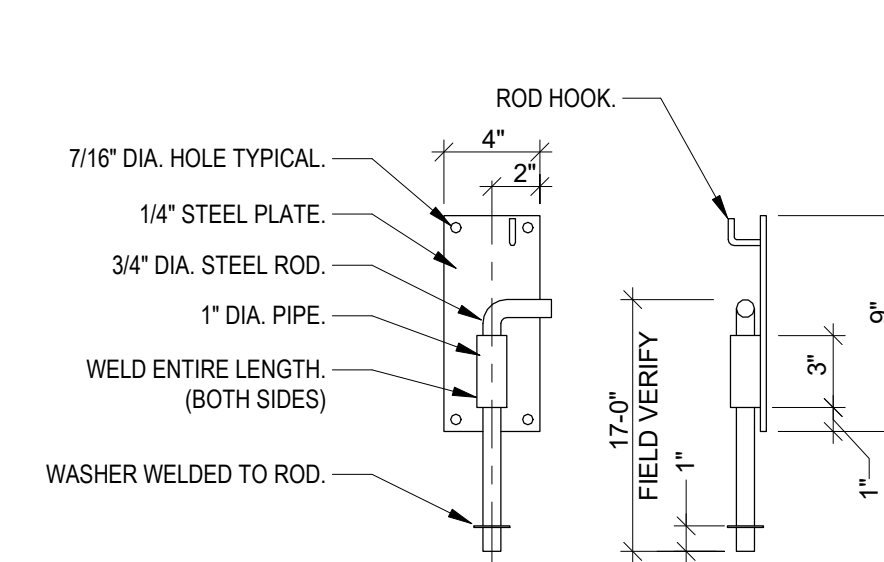
2 DUMPSTER ENCLOSURE CAP
A501 1/2" = 1'-0"



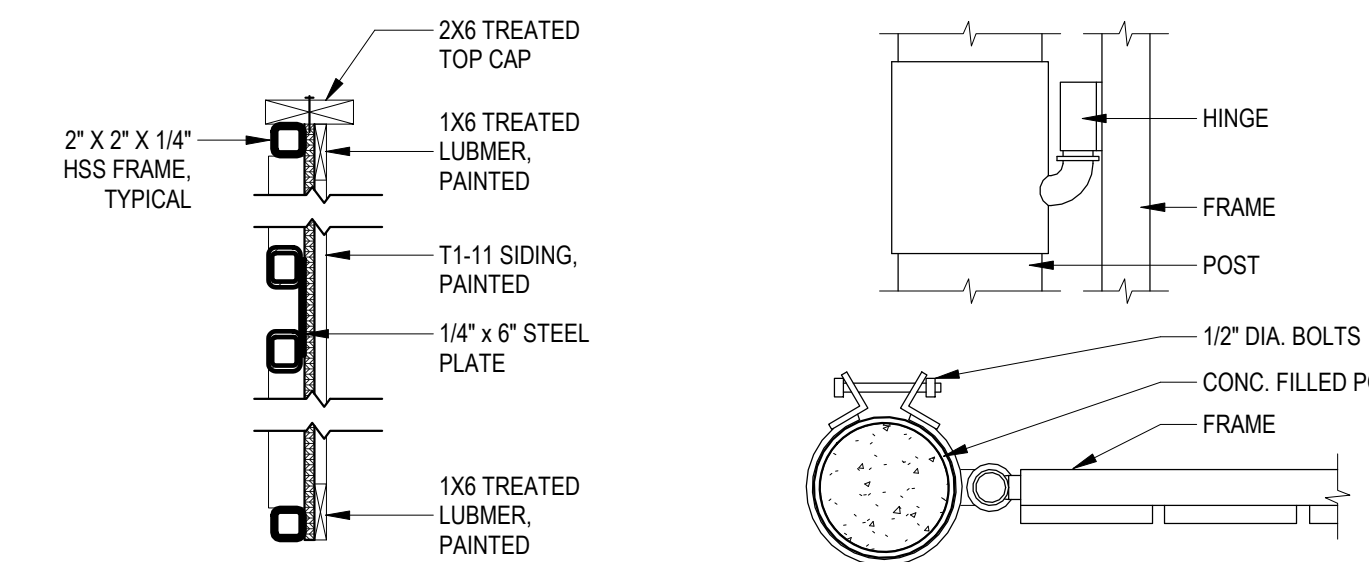
3 DUMPSTER ENCLOSURE - TOP
A501 1/2" = 1'-0"



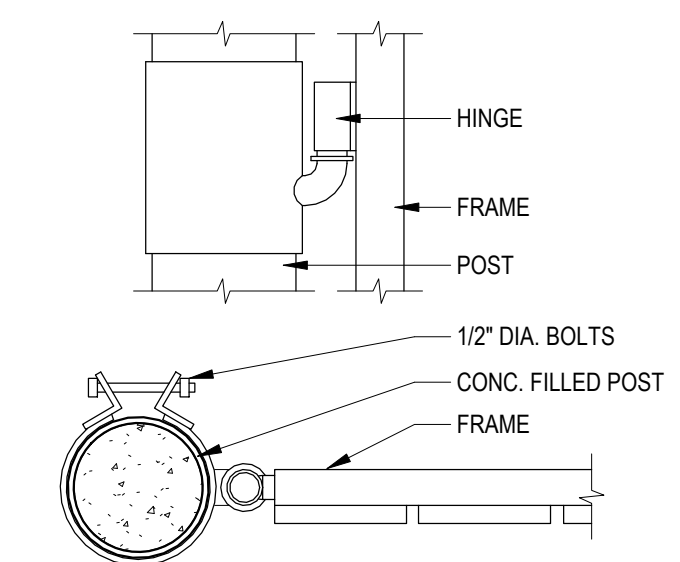
4 HINGE DETAIL
A501 3" = 1'-0"



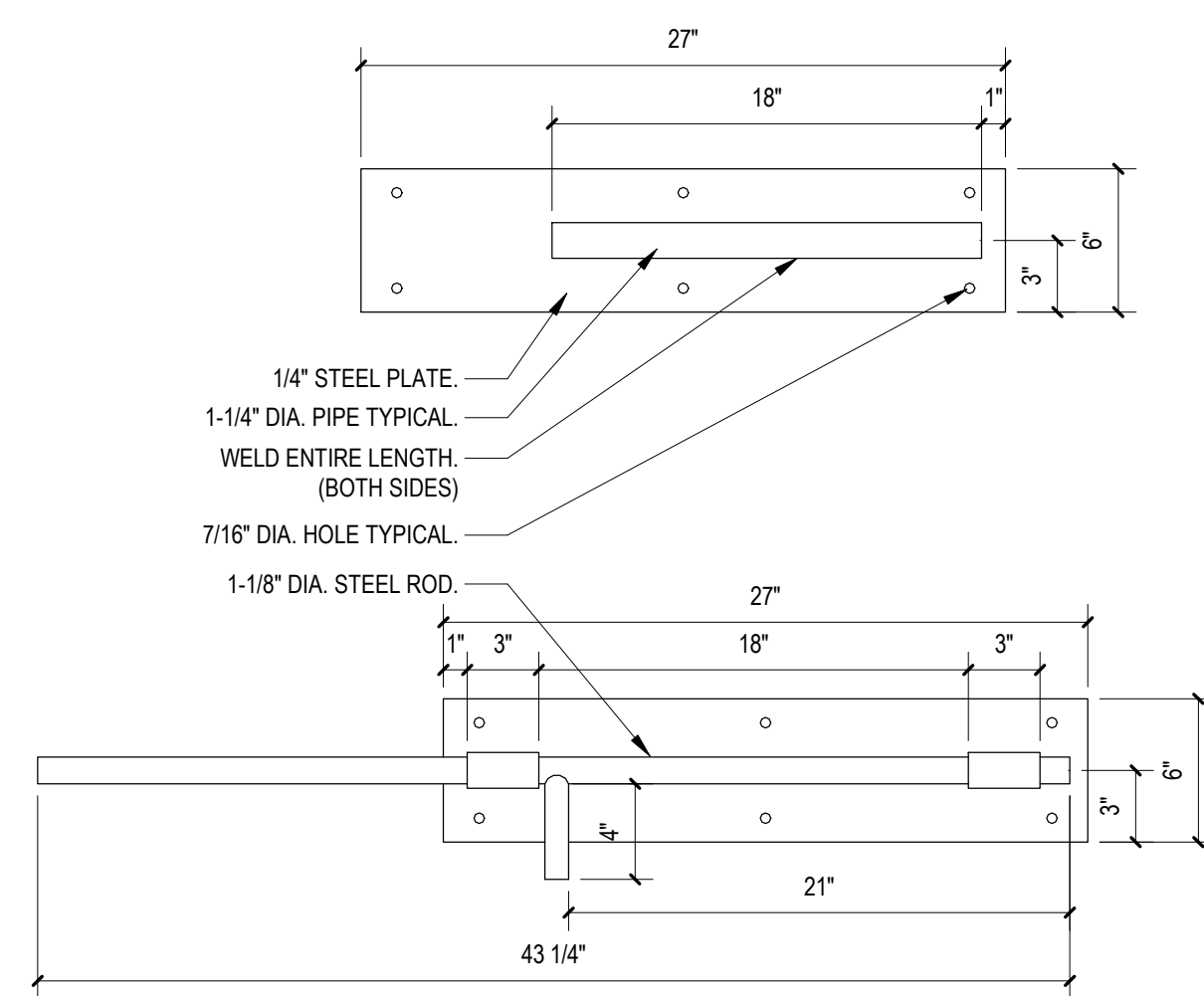
5 DUMPSTER DOOR - CANE BOLT DETAIL
A501 1 1/2" = 1'-0"



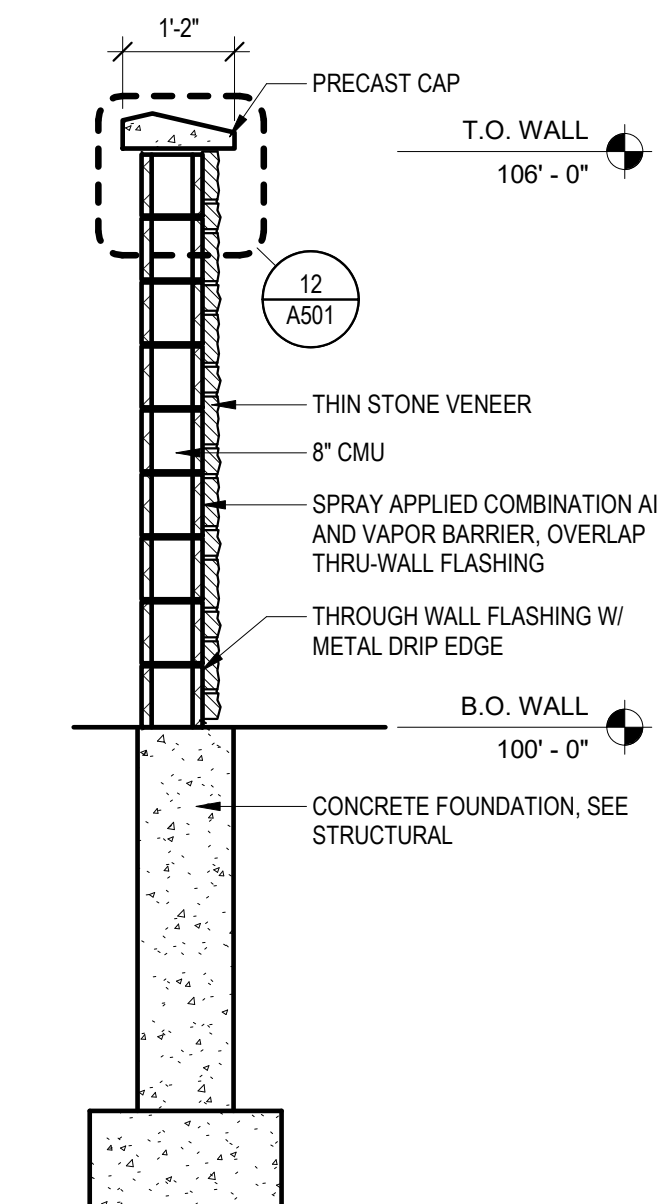
6 DUMPSTER GATE SECTION
A501 1" = 1'-0"



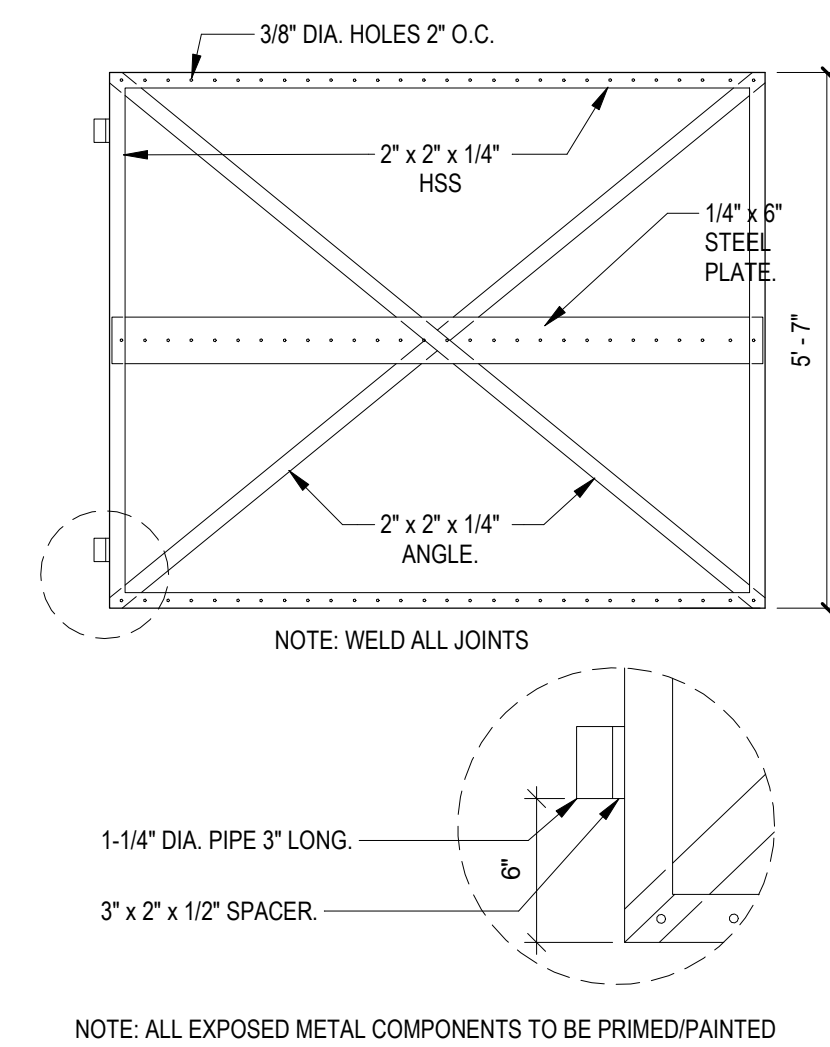
7 HINGE CONNECTION
A501 1 1/2" = 1'-0"



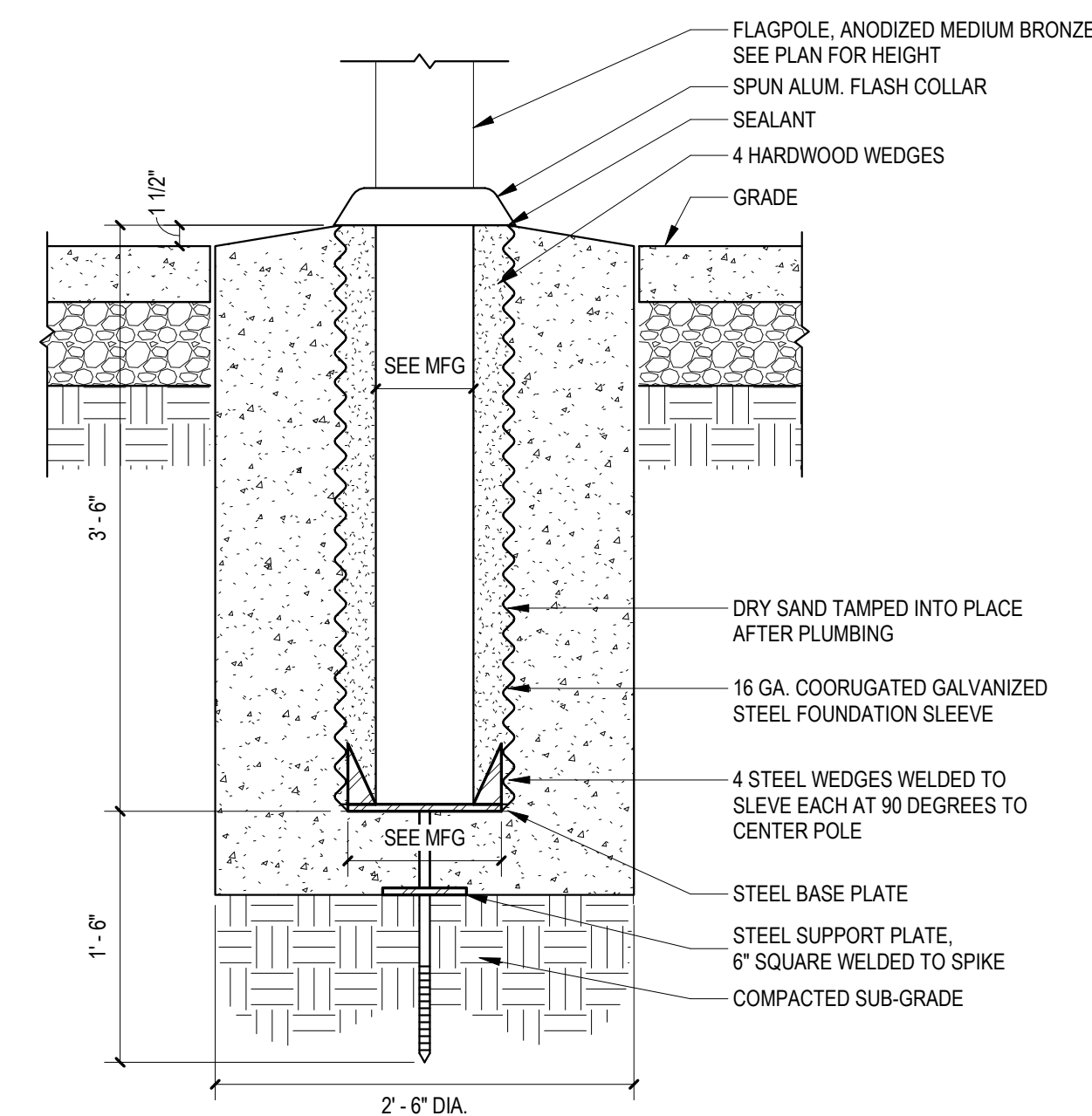
8 LATCH DETAIL
A501 1 1/2" = 1'-0"



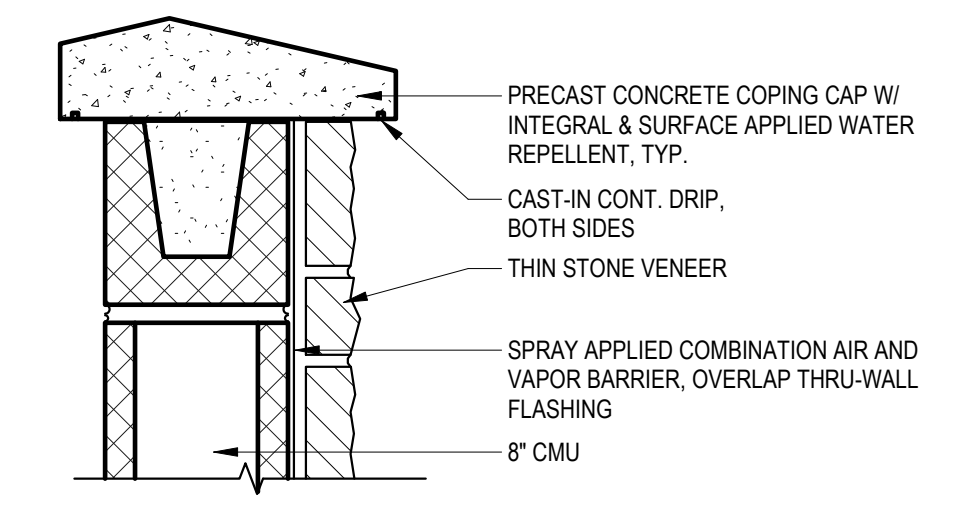
9 DUMPSTER SECTION
A501 1/2" = 1'-0"



10 GATE FRAME ELEVATION
A501 1/2" = 1'-0"



11 FLAG POLE BASE DETAIL
A501 1" = 1'-0"



12 TOP OF WALL DETAIL
A501 1 1/2" = 1'-0"



WEDGE1 LED

Architectural Wall Sconce



Catalog Number

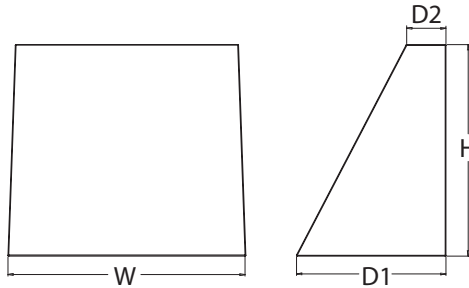
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE1 LED	P0 P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K ¹ 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.

Options	Finish
E4WH ³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE ⁴ Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DDBTXD Textured dark bronze
DSLE Dual Switching (1 Driver, 2 Light Engines)	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WEDGE1 LED
 Rev. 11/16/23

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1P8BW DDBXD U	WDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS, DSLE or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	VF	693	99	0	0	0	718	103	0	0	0	739	106	0	0	0	759	108	0	0	0	764	109	0	0	0
		VW	694	99	0	0	0	720	103	0	0	0	740	106	0	0	0	760	109	0	0	0	766	109	0	0	0
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

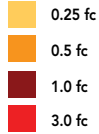
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



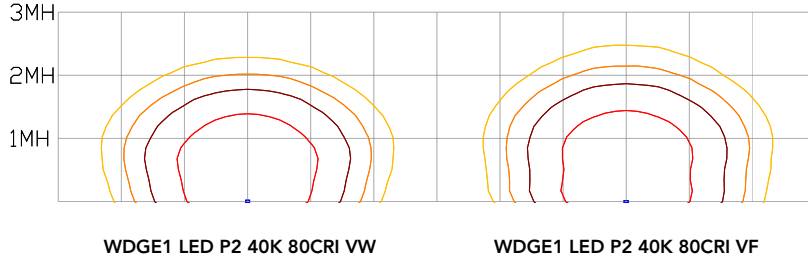
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



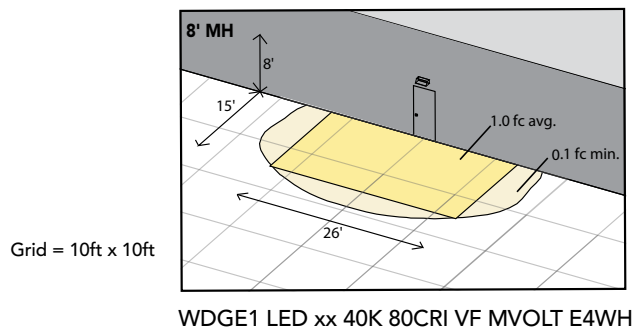
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

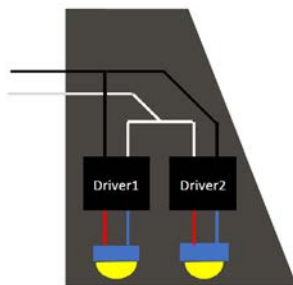
The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark.

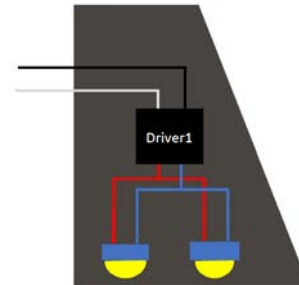
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent to each other so that a failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Catalog Number

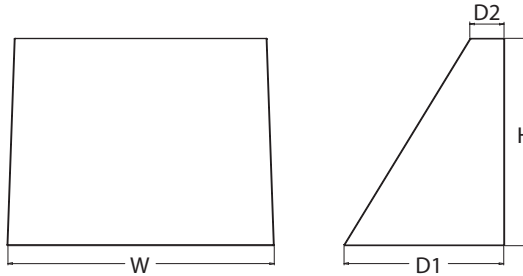
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs
(without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 ¹ P1 ² P2² P3 ² P4 ²	27K 2700K 30K 3000K 40K 4000K 50K 5000K AMB ³ Amber	70CRI ⁴ 80CRI LW ³ Limited Wavelength	T1S Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT 347 ⁵ 480 ⁵	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	DDBXD Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLXD Black
PE⁷ Photocell, Button Type	DNAXD Natural aluminum
DMG⁸ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DBBTXD Textured dark bronze
	DBL BXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone
Standalone Sensors/Controls	
PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	
PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching	
PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.	
PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	
Networked Sensors/Controls	
NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.	
NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.	
See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE2 LED
Rev. 11/21/22

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD W DGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE2P8BW DDBXD U W DGE2 surface-mounted back box (specify finish)

NOTES

- 1 PO option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 PE not available in 480V or with sensors/controls.
- 8 DMG option not available with sensors/controls.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					



Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDG2 LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

■	0.25 fc
■	0.5 fc
■	1.0 fc
■	3.0 fc

MH = 10ft
Grid = 10ft x 10ft



Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Motion/Ambient Sensor (PIR_, PIRH_)

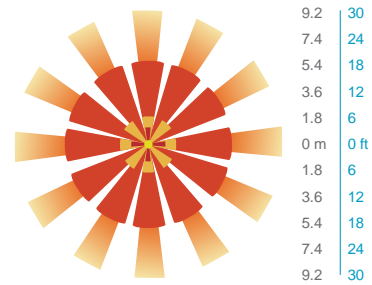
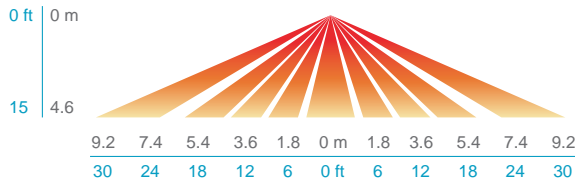
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

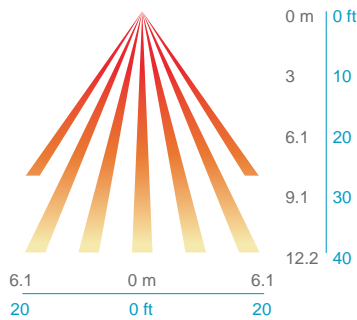
PIR

HIGH VIEW

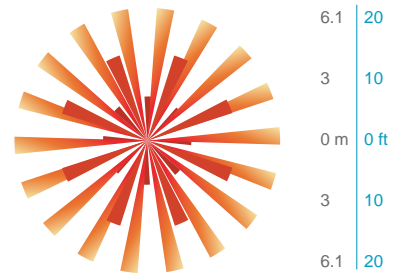


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



Motion/Ambient Sensor

D = 7"
 H = 9" (Standalone controls)
 11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)
 W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"
 H = 9"
 W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
 H = 4.4"
 W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WEDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WEDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



D-Series Size 2 LED Wall Luminaire



d⁺series

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

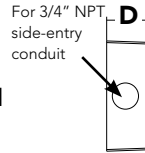
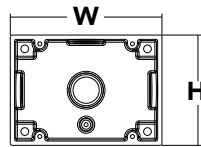
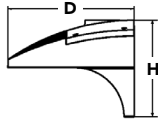
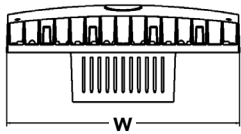
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED	Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	20C	20 LEDs (two engines)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT ³	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁷
			530 530 mA	40K 4000 K	T2M Type II Medium	120 ⁴		
DSXW2 LED	30C	30 LEDs (three engines)	700 700 mA	50K 5000 K	T3S Type III Short	208 ⁴	Shipped separately ⁶ BBW Surface-mounted back box (for conduit entry)	PER NEMA twist-lock receptacle only (control ordered separately) ⁸
			1000 1000 mA ¹ (1 A)	AMBPC Amber phosphor converted ²	T3M Type III Medium	240 ⁴		
					T4M Type IV Medium	277 ⁴		PER5 Five-wire receptacle only (control ordered separately) ^{8,9}
					TFTM Forward Throw Medium	347 ^{4,5}		PER7 Seven-wire receptacle only (control ordered separately) ^{8,9}
						480 ^{4,5}		DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)
								PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11}
								PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11}
								PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12}
								PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}

Other Options	Finish (required)
Shipped installed SF Single fuse (120, 277, 347V) ³ DF Double fuse (208, 240, 480V) ³ HS House-side shield ⁴ SPD Separate surge protection ¹³	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW	Back box accessory
DBXD U	(specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K					
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
(20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120	
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117	
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119	
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121	
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119	
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119	
		530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
				T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
				T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
				T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
				T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
				TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118	
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115	
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116	
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118	
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117	
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117	
		1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105	7,723	1	0	1	104
				T2M	6,954	2	0	2	95	7,467	2	0	2	102	7,514	2	0	2	103
				T3S	7,057	1	0	2	97	7,579	1	0	2	104	7,627	1	0	2	104
				T3M	7,172	2	0	3	98	7,702	2	0	3	106	7,751	2	0	3	106
				T4M	7,076	1	0	2	97	7,599	1	0	2	104	7,646	1	0	2	105
				TFTM	7,071	1	0	2	97	7,594	1	0	2	104	7,641	1	0	2	105
(30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125	
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121	
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123	
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125	
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124	
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124	
		530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
				T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
				T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
				T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
				T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
				TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116	
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113	
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114	
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116	
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115	
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115	
		1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103	11,311	2	0	2	104
				T2M	10,184	2	0	3	93	10,936	2	0	3	100	11,005	2	0	3	101
				T3S	10,335	2	0	2	95	11,099	2	0	2	102	11,169	2	0	2	102
				T3M	10,505	2	0	3	96	11,280	2	0	3	103	11,351	2	0	3	104
				T4M	10,365	2	0	2	95	11,129	2	0	2	102	11,198	2	0	2	103
				TFTM	10,356	2	0	2	95	11,121	2	0	3	102	11,190	2	0	3	103

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

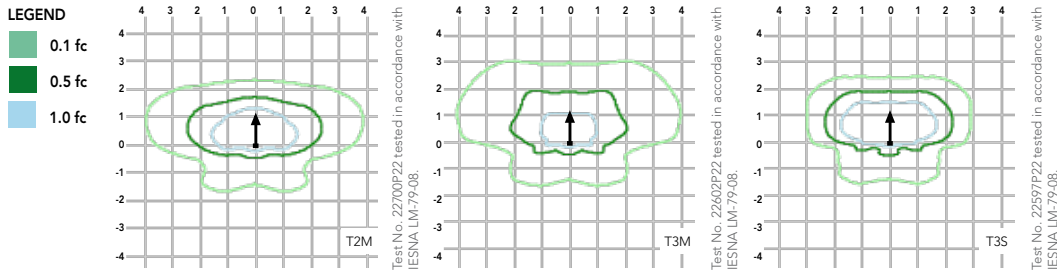
PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

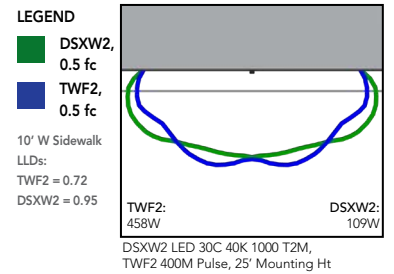
-  Recommended
-  Will not work
-  Alternate

*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



Distribution overlay comparison to 400W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Fixture Type	Date
Job Name	Approved By
Catalog Number	

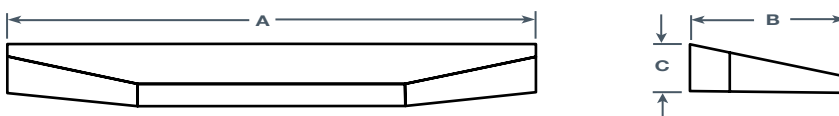


SPECIFICATIONS

Description	The Blade BLD combines a sleek, patent pending design shaped with high performance, full cut off optics to achieve unobtrusive illumination of a space or path of egress. When mounted over a doorway or mullion, the fixture is perceived as an element of the building structure, and, additionally, provides water protection in the form of a drip cap over the entranceway. Multiple lengths are available to match a given door opening and our quick-mount system facilitates installation and maintenance.
Housing	Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat.
Wall Mount	Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat. Designed to provide quick mounting to housing and secured with (2) captive stainless steel TORX® head screws.
Lens Frame	Marine grade heat treated extruded aluminum. Secured to fixture (4) captive stainless steel TORX® head screws.
Lens	Extruded UV stabilized opal polycarbonate with integral prisms. Maximum wall thickness 0.160". Secured to housing with die cast aluminum clamps and stainless steel TORX® head screws.
End Plate	Die-cast marine grade aluminum. Chemically primed and finished with robotically applied polyester powder coat.
Drivers	Dimming to 1%, 10% or Programable Lumen Output driver options. Non-Dimming Driver is also available.
LED	Samsung LM561B+ series @ 2700K, 3000K, 3500K, 4000K, or 5000K and 82 CRI wired in parallel-series. L70 projected life of over 130,000 hours at 50°C.
Gaskets	Closed cell self-adhesive neoprene to provide watertight seal between fixture and mounting surface.
UL Listing	U.L., C.U.L. Wet Location Listing standard.
Buy American Act	Luminaire LED, LLC products are assembled in the USA. Our products meet the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.
Warranty	Lifetime warranty, Luminaire LED incorporated will repair or replace any fixture damaged due to vandalism for the lifetime of the installation. 10-year warranty on LED boards against operational defects. Tested in accordance with LM-80. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.
Note	Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. The product images shown are for illustration purposes only and may not be an exact representation of the product. Specifications subject to change without notice.

DIMENSIONAL DATA

	A	B	C
BLD12	20.0"	5.6"	2.4"
BLD24	30.8"	5.6"	2.4"
BLD36	41.6"	5.6"	2.4"
BLD48	52.4"	5.6"	2.4"
BLD72	74.0"	5.6"	2.4"



ORDERING INFORMATION

Example: BLD 48IN MIN1 35W 27K 120 CLP WHT

Series*	Size (Nominal)* ¹	Drivers*	Dual Drivers	Wattage (Nominal) ¹	Lumens (For PRD Only)
BLD Mullion Mountable Vandal Resistant Full Cut-off Path of Egress Luminaire	12IN ^{2,3}	MIN1 Dimming to 1%	2DRV ^{9,10} Two LED drivers for independent LED board operations.	5W 20W 55W	200LM - 6300LM - Lumens available in 100LM increments <i>Lumens required if PRD driver chosen</i>
	24IN ^{4,5,6}	MIN10 Dimming to 10%		10W 30W	
	36IN ⁷	NODIM Non-Dimming Driver		15W 35W	
	48IN ⁸	PRD Driver Programmed to Specific Lumen Output Consult Factory		<i>Required for all drivers except PRD driver</i>	
	72IN	<i>PRD not available with Wattage PRD standard 0-10V dimming to 1%</i>			

CCT*	Voltage*	Lens*	Finish*
27K 2700K	120 120 Volt	DP Diffused Polycarbonate	BLK Black
30K 3000K	277 277 Volt		WHT White
35K 3500K	MVOLT 120-277 Volt		BRZ Bronze
40K 4000K	347 ^{9,11,12} 347 Volt		GRY Gray
50K 5000K			SIL Silver
			CUST Custom Color, Consult Factory
			RALTBD Ral Paint finishes
			<i>RALTBD for pricing only. Replace with applicable RAL call out when ready to order. See the RAL BROCHURE for available options</i>

BY ARCHITECT

*Required

OPTIONS

Emergency ¹³			
EMB310	Self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F). 1000 lumens	EMB20R ^{15,16}	Remote mounted micro inverter that will operate a 25W maximum load for 90 min. 0°C (32°F) to 45°C (113°F)
EMB310ST	Self-testing, self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F) Meets CA Title 20 Standards. 1000 lumens	EMB125R ¹⁶	Remote inverter that will operate a maximum 125W load for 90 min. 20°C (68°F) to 30°C (86°F)
EMB310T20	Self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F). Meets CA Title 20 standards. 1000 lumens	EMB250R ¹⁶	Remote inverter that will operate a 250W maximum load for 90 min. 20°C (68°F) to 30°C (86°F)
EMB10ST	Self-testing, self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F) Meets CA Title 20 Standards. 1000 lumens		
EMBDA ^{14,19}	Two drivers and two emergency battery packs self-contained within fixture for independent light engine operation. Each battery pack will operate each light engine for a minimum of 90 minutes		

Knockout	Fusing	Photocell	Sensors	Hardware
K02 Optional mouse hole in both end caps for accessing 1/2" knockout	GLR ¹⁷ Fuse and Fuse Holder	PC ^{11,17} Photoelectric Switch	PIR ¹⁸ Passive Infrared Occupancy Sensor/Daylight Harvesting Photocell. Maximum coverage 10' radius from 8' height. PIR50 ^{9,18,19} Passive Infrared Occupancy Sensor/Daylight Harvesting Photocell. Maximum coverage 10' radius from 8' height. 50% of LED's constantly on and 50% sensed on/off <i>RCHRC required for Field Adjustable Settings</i>	PHSC Phillips Head instead of TORX® head

Ordering Notes

- See Size and Wattage Chart
- Not available with EMB10ST, EMB310, EMB310ST, or EMB310T20
- 12IN with MIN1 or PRD; Not available with PIR
- Not available with MIN1 or PRD and EMB10ST, EMB310, EMB310ST, or EMB310T20
- Not available with 2DRV and PIR or PIR50
- Not available with PIR or PIR50 and EMB10ST, EMB310, EMB310ST, or EMB310T20
- 36IN with MIN1 or PRD; Not available with 2DRV and EMB10ST, EMB310, EMB310ST, EMB310T20
- 48IN with MIN1 or PRD; Not available with 2DRV and PIR or PIR50 and EMB10ST, EMB310, EMB310ST, or EMB310T20
- Not available with 12IN
- 24IN with 2DRV; Not available with EMB10ST, EMB310, EMB310ST, or EMB310T20
- Not available with PIR or PIR50
- Not available in 24IN with 2DRV
- Not available with 347
- Only available in 72IN
- Not available with Wattage or 25W or PRD
- Not available with MVOLT
- Not available with MVOLT or 347
- Not available with EMB20R, EMB125R, EMB250R
- Must include 2DRV

Accessories: Order as separate catalog number.

TXSD	TORX® Screwdriver Bit <i>Initial shipment includes one (1) TXSD per fixture</i>
RCHRC	Remote Control for Field Adjustable Sensor Settings <i>One (1) RCHRC per Job for PIR/PIR50 Sensor. Optional</i>

SIZE & WATTAGE CHART

Size	Wattage
12IN	5W 10W
24IN	10W 20W
36IN	15W 30W
48IN	20W 35W
72IN	30W 55W

SIZE & LUMEN CHART (For PRD)

Size	Lumen Range
12IN	200LM - 1000LM
24IN	400LM - 2100LM
36IN	600LM - 3100LM
48IN	800LM - 4100LM
72IN	1200LM - 6300LM

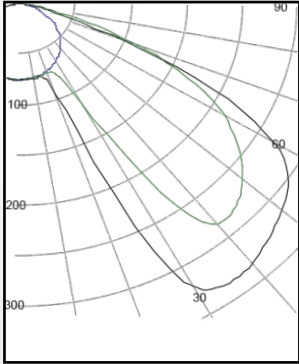
PHOTOMETRIC DATA

Model	Watts	Input Watts	Delivered Lumens				
			2700K	3000K	3500K	4000K	5000K
BLD 12IN	5W	6.5W	447	452	461	476	490
BLD 12IN	10W	11.8W	875	885	903	931	958
BLD 24IN	10W	10.6W	962	973	993	1024	1055
BLD 24IN	20W	21.3W	1885	1907	1946	2006	2066
BLD 36IN	15W	14.7W	1444	1461	1491	1537	1583
BLD 36IN	30W	29.6W	2828	2860	2919	3009	3099
BLD 48IN	20W	19.6W	1926	1948	1987	2049	2111
BLD 48IN	35W	36.4W	3770	3812	3890	4011	4132
BLD 72IN	30W	29.4W	2969	3003	3064	3159	3254
BLD 72IN	55W	57.1W	5789	5855	5974	6184	6345
BLD xxIN	PRD		Programmable Driver. Must Specify Lumens in Ordering Information, see Chart above.				

PHOTOMETRIC DATA

MODEL: BLD 12IN 5W 40K

Delivered Lumens: 476 Lumens



IES FILE: BLD 12IN 5W 40K

Total Power: 7W

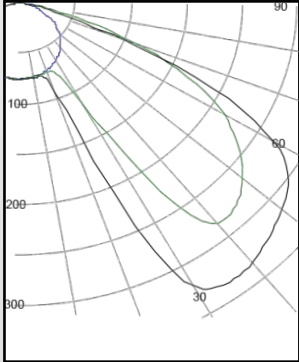
Testing was performed in accordance with IES LM-79-08

Bug Rating: B0U0G1

Zone	Lumens	% Luminaire
0 - 30	69	14.5
0 - 40	149	31.1
0 - 60	359	75.5
60 - 90	117	24.5
0 - 90	476	100.0
90 -180	0	0.0
0 - 180	476	100.0

MODEL: BLD 36IN 15W 40K

Delivered Lumens: 1537 Lumens



IES FILE: BLD 36IN 15W 40K

Total Power: 14.7W

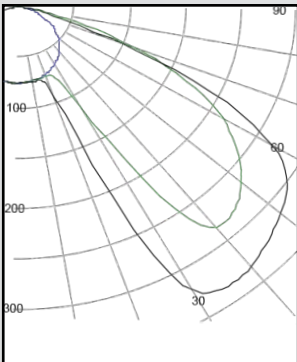
Testing was performed in accordance with IES LM-79-08

Bug Rating: B0U0G1

Zone	Lumens	% Luminaire
0 - 30	377	124.5
0 - 40	640	41.6
0 - 60	1219	79.3
60 - 90	317	20.7
0 - 90	1537	100.0
90 -180	0	0.0
0 - 180	1537	100.0

MODEL: BLD 36IN 30W 40K

Delivered Lumens: 3009 Lumens



IES FILE: BLD 36IN 30W 40K

Total Power: 29.6W

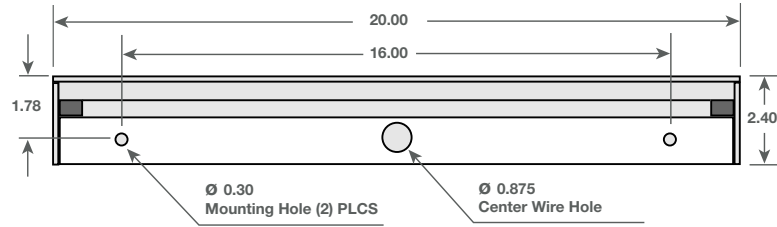
Testing was performed in accordance with IES LM-79-08

Bug Rating: B1U0G1

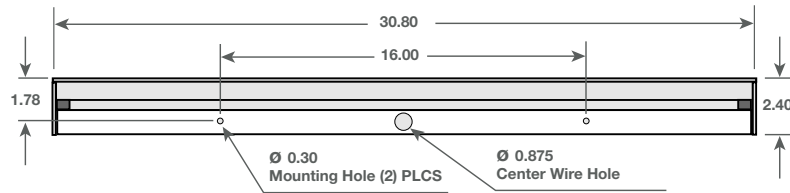
Zone	Lumens	% Luminaire
0 - 30	739	24.6
0 - 40	1253	41.6
0 - 60	2387	79.3
60 - 90	622	20.7
0 - 90	3009	100.0
90 -180	0	0.0
0 - 180	3009	100.0

MOUNTING PLATE DETAILS

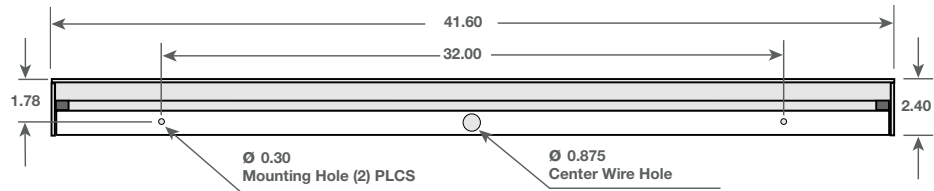
BLD12



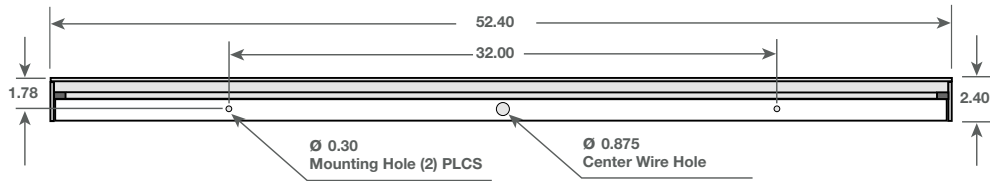
BLD24



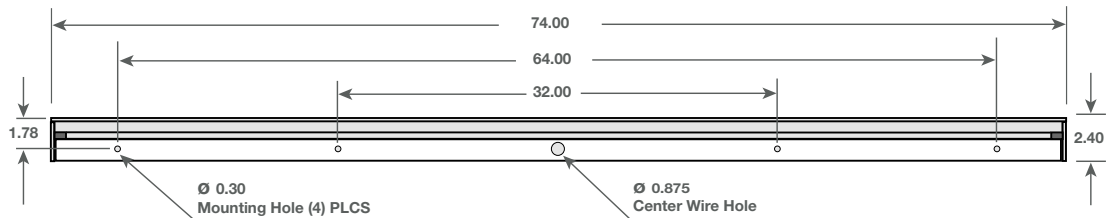
BLD36



BLD48



BLD72



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	H1	2	Lithonia Lighting	WDGE1 LED P0 40K 80CRI VW	WDGE1 LED WITH P0 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	760	0.9	6.7947
[Symbol]	H2	13	Lithonia Lighting	WDGE2 LED P2 40K 80CRI T3M	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 3 MEDIUM OPTIC	1	2062	0.9	18.9815
[Symbol]	H4	9	Lithonia Lighting	DSXW2 LED 20C 1000 40K TFTM MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	1	7593	0.9	73
[Symbol]	H5	1	Luminaire LED	BLD 36IN 15W 40K DP	Catalog Number: BLD36-15W 4000K2 Surface wall mounted, extruded and cast aluminum housing, formed white enamel aluminum reflector, clear lightly frosted plastic enclosure, 108 white LEDs, three Luminaire LED MP-LED-AMC Rev 3.0C boards with 36 LEDs per board, One ULT Everline D700CC30UNVW-C LED driver labeled as 470mA, 120.0Vvac, 60.00Hz, 0.1316A, 14.68W, 0.929PF, 11.6%THD(I)	1	1537	0.9	14.7

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside Property Boundary		0.0 fc	0.4 fc	0.0 fc	N/A	N/A
SITE-UTILITY PROPERTY ?		0.1 fc	1.1 fc	0.0 fc	N/A	N/A
SITE-VILLAGE OF KIMBERLY PROPERTY		1.1 fc	7.7 fc	0.0 fc	N/A	N/A

SITE - UTILITY PROPERTY ?

SITE - VILLAGE OF KIMBERLY PROPERTY

NEW MUNICIPAL SERVICE CENTER

THE LIGHT EMITTED FROM THE EXISTING FIXTURE LOCATED ON THE SALT STORAGE GARAGE IS A CALCULATED ESTIMATE

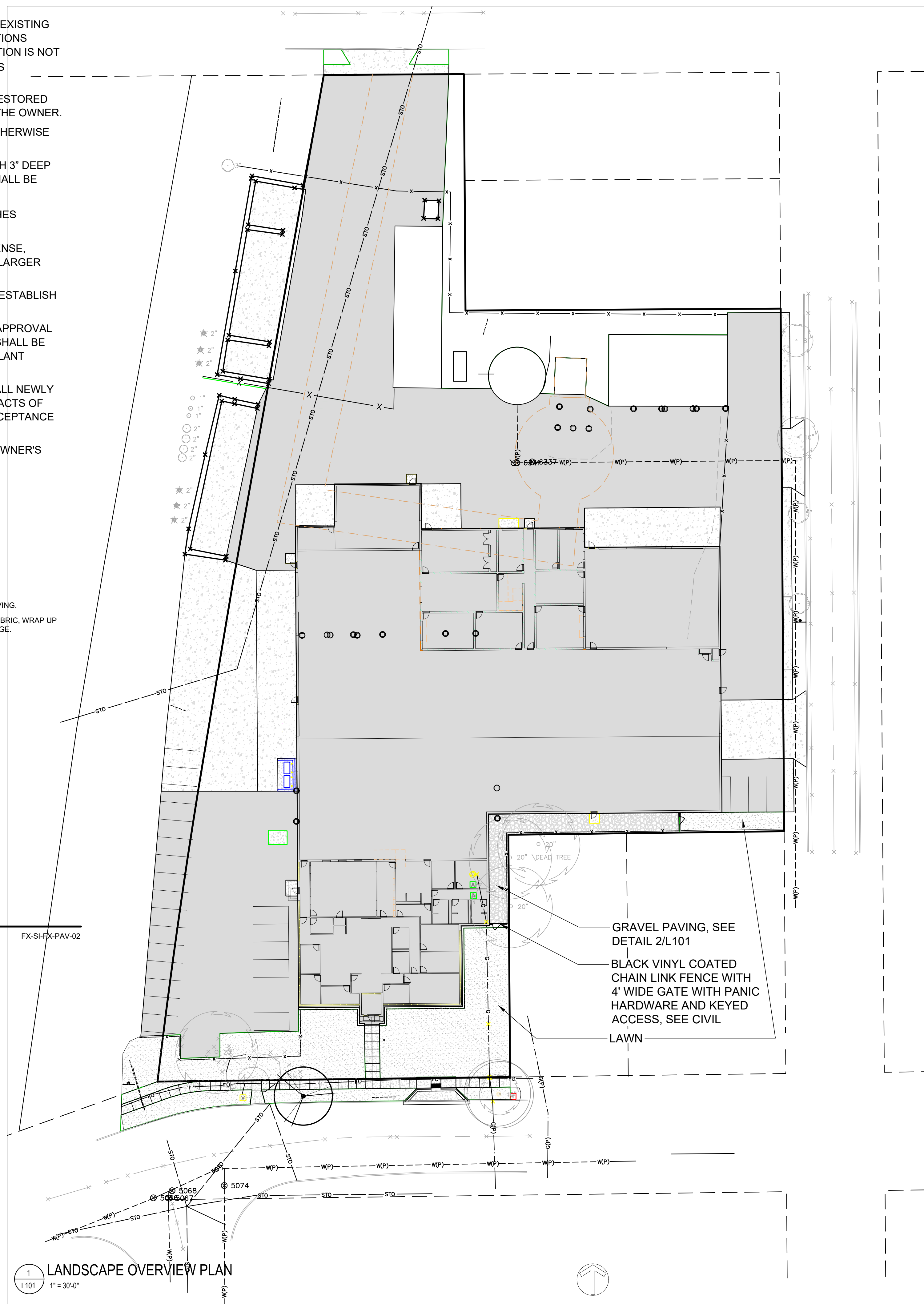
THE LIGHT EMITTED FROM THE EXISTING FIXTURES LOCATED ON THE GARAGE IS A CALCULATED ESTIMATE

Plan View
 Scale - 1" = 20'

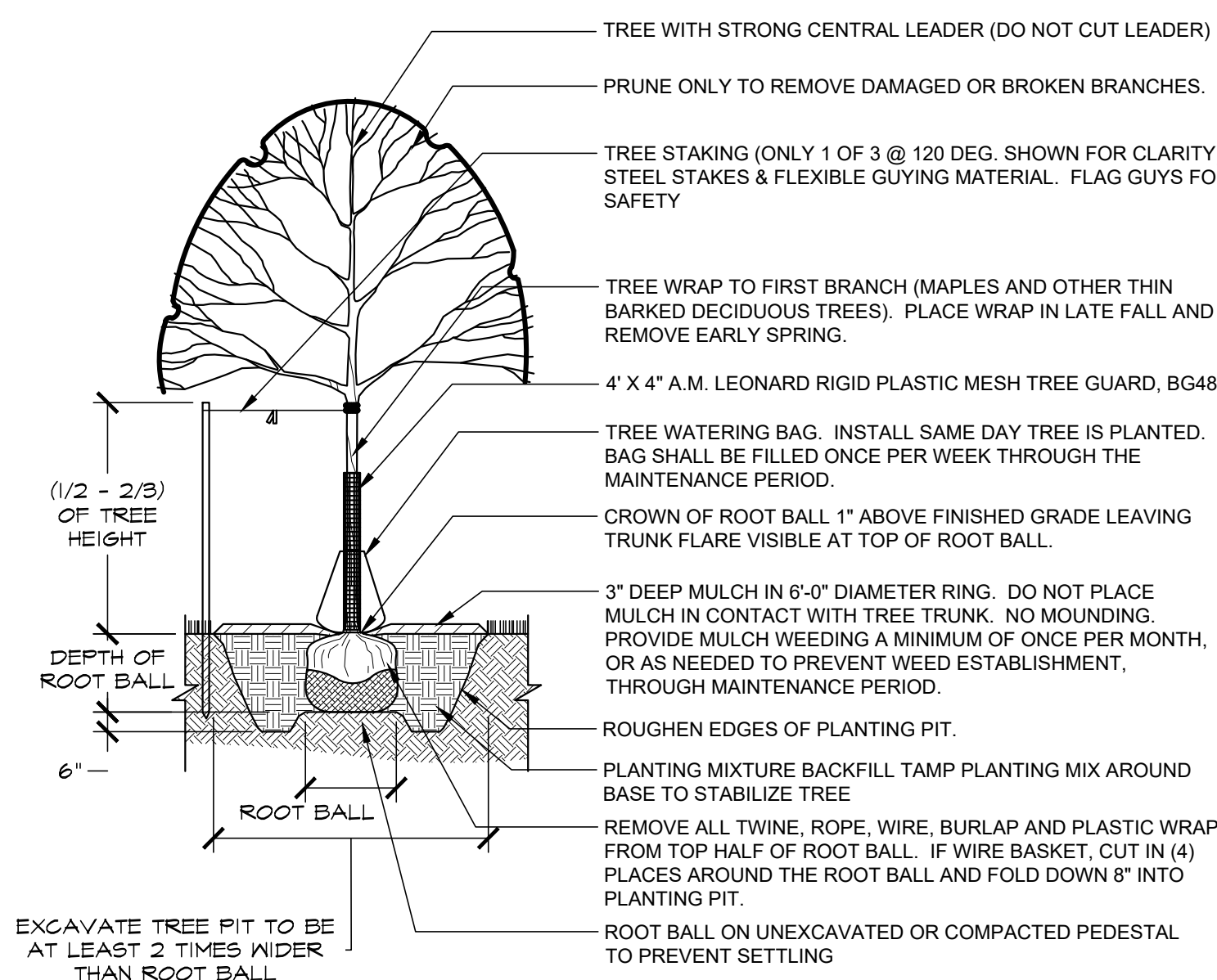
PLANTING NOTES

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS AND LAWNS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL.
- SEED AND PLUG PLANTING SHALL OCCUR IN DESIGNATED PLANTING WINDOWS, SEE SPECIFICATIONS.

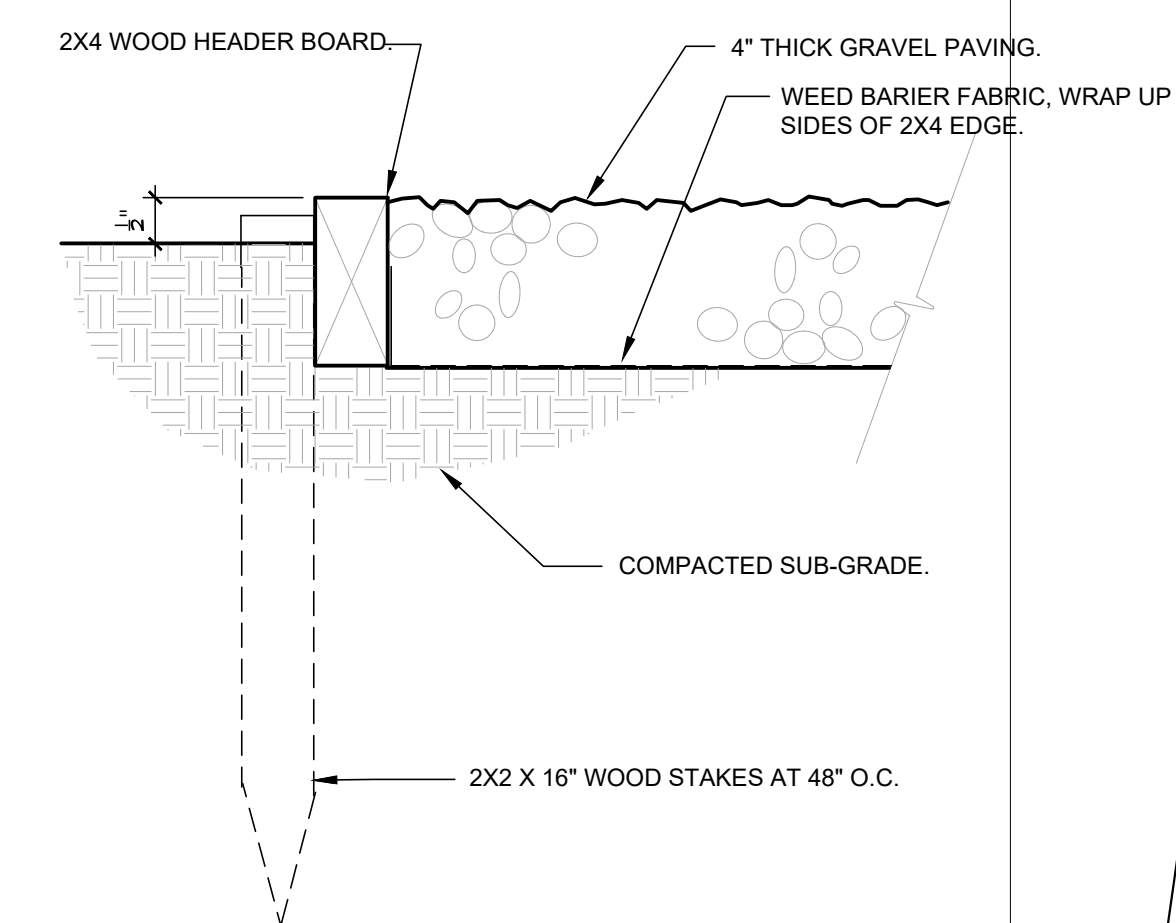
- PAIN OR STAKE LIMITS OF SEEDING FOR REVIEW BY LANDSCAPE ARCHITECT & OWNER PRIOR TO SEEDING.
- NEW SEEDED AREAS TO BE TREATED WITH HERBICIDE TO KILL ALL EXISTING GROUND COVER. THERE SHALL BE A MINIMUM OF TWO (2) APPLICATIONS SEPARATED BY 10 DAYS. IF ALL EXISTING GROUND COVER VEGETATION IS NOT KILLED WITHIN 10 DAYS OF 2ND APPLICATION, A 3RD APPLICATION IS REQUIRED.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTING BEDS SHALL HAVE A SHOVEL CUT EDGE, UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING BEDS AND PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- GRAVEL PAVING AREA TO BE 4" THICK, 1 1/2" INCHES MAXIMUM, 3/4" INCHES MINIMUM, ROUNDED RIVERBED GRAVEL.
- LAWN SEED SHALL BE ESTABLISHED BY THE CONTRACTOR TO A DENSE, GREEN CONSISTENT LAWN VOID OF ANY BARE OR PATCHY AREAS LARGER THAN 3' X 3'.
- SEED PRIOR TO OCT. 15. IF SEEDED AFTER OCT. 15, MAINTAIN AND ESTABLISH LAWN UNTIL SPRING REVIEW.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEE SPECIFICATIONS FOR MAINTENANCE REQUIREMENTS AFTER OWNER'S ACCEPTANCE.



1 LANDSCAPE OVERVIEW PLAN
1" = 30'-0"



1 TREE PLANTING
1/4" = 1'-0" d



2 EDGE AT GRAVEL PAVING
3" = 1'-0" d

THIS BAR IS INTENDED TO BE 1" PRINTED AT FULL SCALE

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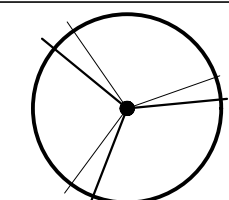
329343-01

FX-SI-FX-PAV-02

PLANT_SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
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DECIDUOUS TREES



CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" CAL	1
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SYMBOL

BOTANICAL / COMMON NAME

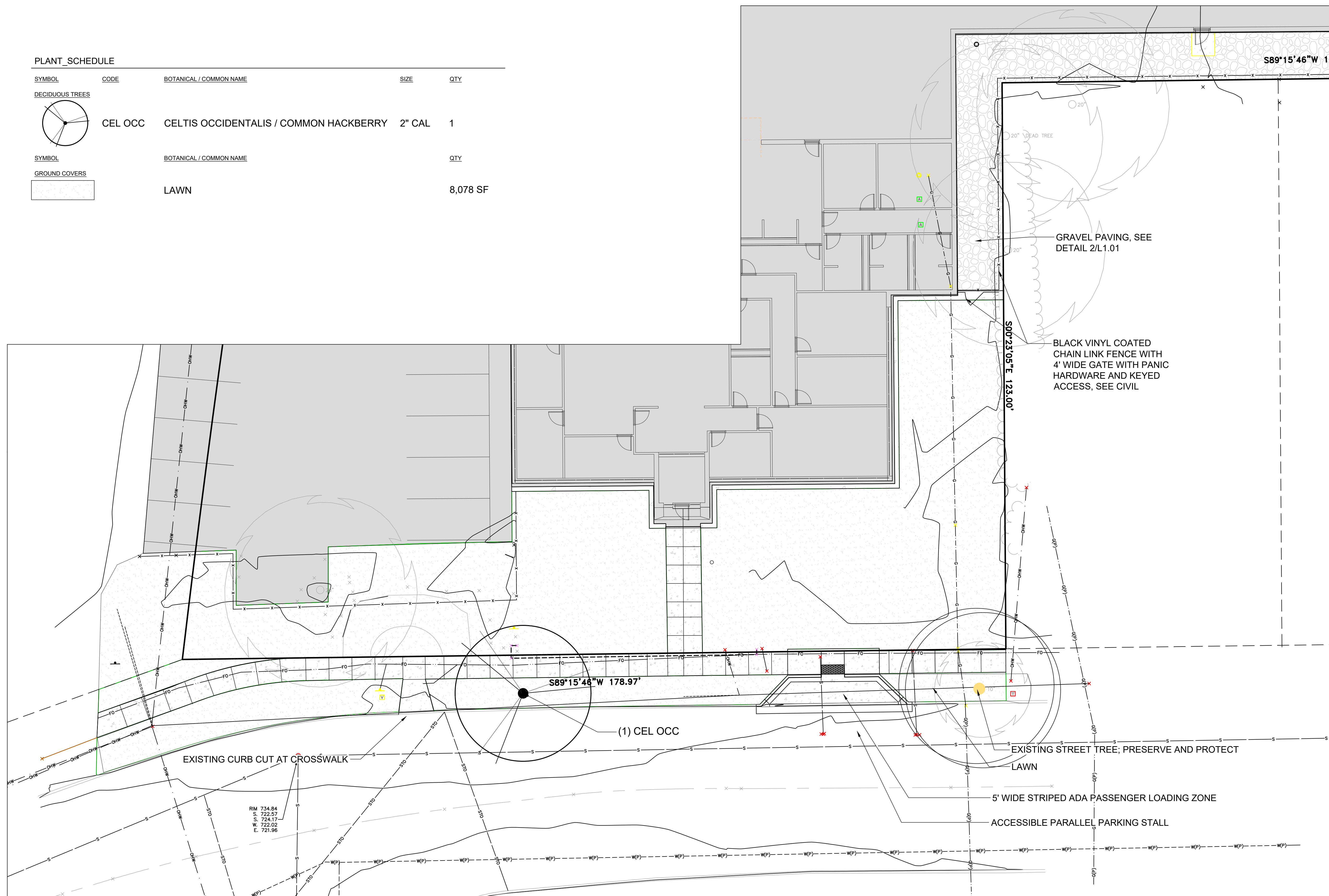
QTY

GROUND COVERS



LAWN

8,078 SF



1 LANDSCAPE BLOW UP PLAN
L102 1" = 10'-0"

